



APPLICATIONS:

DEPARTMENT OF CITY PLANNING APPLICATION

THIS BOX FOR CITY PLANNING STAFF USE ONLY

Case Number _____

Env. Case Number _____

Application Type _____

Case Filed With (Print Name) _____ Date Filed _____

Application includes letter requesting:

Waived hearing Concurrent hearing Hearing not be scheduled on a specific date (e.g. vacation hold)

Related Case Number _____

Provide all information requested. Missing, incomplete or inconsistent information will cause delays.
All terms in this document are applicable to the singular as well as the plural forms of such terms.

1. PROJECT LOCATION

Street Address¹ _____ Unit/Space Number _____

Legal Description² (Lot, Block, Tract) _____

Assessor Parcel Number _____ Total Lot Area _____

2. PROJECT DESCRIPTION

Present Use _____

Proposed Use _____

Project Name (if applicable) _____

Describe in detail the characteristics, scope and/or operation of the proposed project _____

Additional information attached YES NO

Complete and check all that apply:

Existing Site Conditions

- Site is undeveloped or unimproved (i.e. vacant)
- Site is located within 500 feet of a freeway or railroad
- Site has existing buildings (provide copies of building permits)
- Site is located within 500 feet of a sensitive use (e.g. school, park)
- Site is/was developed with use that could release hazardous materials on soil and/or groundwater (e.g. dry cleaning, gas station, auto repair, industrial)
- Site has special designation (e.g. National Historic Register, Survey LA)

¹ Street Addresses must include all addresses on the subject/application site (as identified in ZIMAS—<http://zimas.lacity.org>)
² Legal Description must include all contiguously owned properties (even if they are not a part of the proposed project site)

Proposed Project Information

- Demolition of existing buildings/structures
- Relocation of existing buildings/structures
- Interior tenant improvement
- Additions to existing buildings
- Grading
- Removal of any on-site tree
- Removal of any street tree
- New construction: _____ square feet
- Accessory use (fence, sign, wireless, carport, etc.)
- Exterior renovation or alteration
- Change of use and/or hours of operation
- Haul Route
- Uses or structures in public right-of-way
- Phased project

Housing Component Information

Number of Residential Units: Existing 0 – Demolish(ed)³ 0 + Adding 606 = Total 606
 Number of Affordable Units⁴ Existing 0 – Demolish(ed) 0 + Adding 27 = Total 27
 Number of Market Rate Units Existing 0 – Demolish(ed) 0 + Adding 606 = Total 606
 Mixed Use Projects, Amount of Non-Residential Floor Area: up to 27,004 square feet

3. ACTION(S) REQUESTED

Provide the Los Angeles Municipal Code (LAMC) Section that authorizes the request and (if applicable) the LAMC Section or the Specific Plan/Overlay Section from which relief is sought; follow with a description of the requested action.

Does the project include Multiple Approval Requests per LAMC 12.36? YES NO

Authorizing section _____ Section from which relief is requested (if any): LAMC 12.24W1
 Request: Master CUB for on- and off- sales of a full line of alcohol or beer and wine
in restaurant/retail space and grocery market

Authorizing section _____ Section from which relief is requested (if any): _____
 Request: _____

Authorizing section _____ Section from which relief is requested (if any): _____
 Request: _____

Additional Requests Attached YES NO

³ Number of units to be demolished and/or which have been demolished within the last five (5) years.

⁴ As determined by the Housing and Community Investment Department

4. RELATED DEPARTMENT OF CITY PLANNING CASES

Are there previous or pending cases/decisions/environmental clearances on the project site? YES NO

If YES, list all case number(s) DIR 2008-3407(SPP, SPPA,DB)

If the application/project is directly related to one of the above cases, list the pertinent case numbers below and complete/check all that apply (provide copy).

Case No. _____ Ordinance No.: _____

- Condition compliance review
- Clarification of Q (Qualified) classification
- Modification of conditions
- Clarification of D (Development Limitations) classification
- Revision of approved plans
- Amendment to T (Tentative) classification
- Renewal of entitlement
- Plan Approval subsequent to Master Conditional Use

For purposes of environmental (CEQA) analysis, is there intent to develop a larger project? YES NO

Have you filed, or is there intent to file, a Subdivision with this project? YES NO

If YES, to either of the above, describe the other parts of the projects or the larger project below, whether or not currently filed with the City:

5. OTHER AGENCY REFERRALS/REFERENCE

To help assigned staff coordinate with other Departments that may have a role in the proposed project, please check all that apply and provide reference number if known.

Are there any outstanding Orders to Comply/citations at this property? YES (provide copy) NO

Are there any recorded Covenants, affidavits or easements on this property? YES (provide copy) NO

- Development Services Case Management Number _____
- Building and Safety Plan Check Number _____
- Bureau of Engineering Planning Referral (PCRF) _____
- Bureau of Engineering Hillside Referral _____
- Housing and Community Investment Department Application Number _____
- Bureau of Engineering Revocable Permit Number _____
- Other—specify _____

6. PROJECT TEAM INFORMATION (Complete all applicable fields)

Applicant⁵ name Thomas D. Warren
Company/Firm NASH - Holland 6th & Bixel Project LLC, c/o Holland Partner Group
Address: 5000 E. Spring St. Unit/Space Number 500
City Long Beach State CA Zip Code: 90815
Telephone 206-465-4569 E-mail: twarren@hollandpartnergroup.com
Are you in escrow to purchase the subject property? YES NO

Property Owner of Record Same as applicant Different from applicant
Name (if different from applicant) _____
Address _____ Unit/Space Number _____
City _____ State _____ Zip Code: _____
Telephone _____ E-mail: _____

Agent/Representative name Jim Ries
Company/Firm Craig Lawson & Co., LLC
Address: 3221 Hutchison Avenue, Unit/Space Number D
City Los Angeles State CA Zip: 90034
Telephone 310 838-2400 ext 101 E-mail: jim@craiglawson.com

Other (Specify Architect, Engineer, CEQA Consultant etc.) _____
Name _____
Company/Firm _____
Address: _____ Unit/Space Number _____
City _____ State _____ Zip Code: _____
Telephone _____ E-mail: _____

Primary Contact for Project Information (select only one) Owner Applicant
 Agent/Representative Other _____

To ensure notification of any public hearing as well as decisions on the project, make sure to include an individual mailing label for each member of the project team in both the Property Owners List, and the Abutting Property Owners List.

⁵ An applicant is a person with a lasting interest in the completed project such as the property owner or a lessee/user of a project. An applicant is not someone filing the case on behalf of a client (i.e. usually not the agent/representative).


PROPERTY OWNER

9. PROPERTY OWNER AFFIDAVIT. Before the application can be accepted, the owner of each property involved must provide a notarized signature to verify the application is being filed with their knowledge. Staff will confirm ownership based on the records of the City Engineer or County Assessor. In the case of partnerships, corporations, LLCs or trusts the agent for service of process or an officer of the ownership entity so authorized may sign as stipulated below.

- **Ownership Disclosure.** If the property is owned by a partnership, corporation, LLC or trust, a disclosure identifying the agent for service or process or an officer of the ownership entity must be submitted. The disclosure must list the names and addresses of the principal owners (25% interest or greater). The signatory must appear in this list of names. A letter of authorization, as described below, may be submitted provided the signatory of the letter is included in the Ownership Disclosure. Include a copy of the current partnership agreement, corporate articles, or trust document as applicable.
- **Letter of Authorization (LOA).** A LOA from a property owner granting someone else permission to sign the application form may be provided if the property is owned by a partnership, corporation, LLC or trust or in rare circumstances when an individual property owner is unable to sign the application form. To be considered for acceptance, the LOA must indicate the name of the person being authorized the file, their relationship to the owner or project, the site address, a general description of the type of application being filed and must also include the language in items A-D below. In the case of partnerships, corporations, LLCs or trusts the LOA must be signed and notarized by the authorized signatory as shown on the Ownership Disclosure or in the case of private ownership by the property owner. Proof of Ownership for the signatory of the LOA must be submitted with said letter.
- **Grant Deed.** Provide a Copy of the Grant Deed If the ownership of the property does not match City Records and/or if the application is for a Coastal Development Permit. The Deed must correspond exactly with the ownership listed on the application.
- **Multiple Owners.** If the property is owned by more than one individual (e.g. John and Jane Doe or Mary Smith and Mark Jones) notarized signatures are required of all owners.

- A. I hereby certify that I am the owner of record of the herein previously described property located in the City of Los Angeles which is involved in this application or have been empowered to sign as the owner on behalf of a partnership, corporation, LLC or trust as evidenced by the documents attached hereto.
- B. I hereby consent to the filing of this application on my property for processing by the Department of City Planning.
- C. I understand if the application is approved, as a part of the process the City will apply conditions of approval which may be my responsibility to satisfy including, but not limited to, recording the decision and all conditions in the County Deed Records for the property.
- D. By my signature below, I declare under penalty of perjury under the laws of the State of California that the foregoing statements are true and correct.

*Property Owner's signatures must be signed/notarized in the presence of a Notary Public.
The City requires an original signature from the property owner with the "wet" notary stamp.
A Notary Acknowledgement is available for your convenience on following page.*

Signature 

Date JANUARY 31, 2017

Print Name Thomas D. Warren

Signature _____

Date _____

Print Name _____

Space Below For Notary's Use

California All-Purpose Acknowledgement

Civil Code ' 1189

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California

County of Los Angeles

On January 31, 2017 before me, Lisa Estrada McGuire, Notary Public
(Insert Name of Notary Public and Title)

personally appeared Thomas D. Warren, who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf on which the person(s) acted, executed the instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Lisa Estrada McGuire
Signature

(Seal)



APPLICANT

10. APPLICANT DECLARATION. A separate signature from the applicant, whether they are the property owner or not, attesting to the following, is required before the application can be accepted.

- A. I hereby certify that the information provided in this application, including plans and other attachments, is accurate and correct to the best of my knowledge. Furthermore, should the stated information be found false or insufficient to fulfill the requirements of the Department of City Planning, I agree to revise the information as appropriate.
- B. I hereby certify that I have fully informed the City of the nature of the project for purposes of the California Environmental Quality Act (CEQA) and have not submitted this application with the intention of segmenting a larger project in violation of CEQA. I understand that should the City determine that the project is part of a larger project for purposes of CEQA, the City may revoke any approvals and/or stay any subsequent entitlements or permits (including certificates of occupancy) until a full and complete CEQA analysis is reviewed and appropriate CEQA clearance is adopted or certified.
- C. I understand that the environmental review associated with this application is preliminary, and that after further evaluation, additional reports, studies, applications and/or fees may be required.
- D. I understand and agree that any report, study, map or other information submitted to the City in furtherance of this application will be treated by the City as public records which may be reviewed by any person and if requested, that a copy will be provided by the City to any person upon the payment of its direct costs of duplication.
- E. I understand that the burden of proof to substantiate the request is the responsibility of the applicant. Additionally, I understand that planning staff are not permitted to assist the applicant or opponents of the project in preparing arguments for or against a request.
- F. I understand that there is no guarantee, expressed or implied, that any permit or application will be granted. I understand that each matter must be carefully evaluated and that the resulting recommendation or decision may be contrary to a position taken or implied in any preliminary discussions.
- G. I understand that if this application is denied, there is no refund of fees paid.
- H. I understand and agree to defend, indemnify, and hold harmless, the City, its officers, agents, employees, and volunteers (collectively "City"), from any and all legal actions, claims, or proceedings (including administrative or alternative dispute resolution (collectively "actions"), arising out of any City process or approval prompted by this Action, either in whole or in part. Such actions include but are not limited to: actions to attack, set aside, void, or otherwise modify, an entitlement approval, environmental review, or subsequent permit decision; actions for personal or property damage; actions based on an allegation of an unlawful pattern and practice; inverse condemnation actions; and civil rights or an action based on the protected status of the petitioner or claimant under state or federal law (e.g. ADA or Unruh Act). I understand and agree to reimburse the City for any and all costs incurred in defense of such actions. This includes, but it not limited to, the payment of all court costs and attorneys' fees, all judgments or awards, damages, and settlement costs. The indemnity language in this paragraph is intended to be interpreted to the broadest extent permitted by law and shall be in addition to any other indemnification language agreed to by the applicant.
- I. By my signature below, I declare under penalty of perjury, under the laws of the State of California, that all statements contained in this application and any accompanying documents are true and correct, with full knowledge that all statements made in this application are subject to investigation and that any false or dishonest answer to any question may be grounds for denial or subsequent revocation of license or permit.

The City requires an original signature from the applicant. The applicant's signature below does not need to be notarized.

Signature: 

Date: JANUARY 31, 2017

Print Name: Thomas D. Warren

**OPTIONAL
NEIGHBORHOOD CONTACT SHEET**

SIGNATURES of adjoining or neighboring property owners in support of the request are not required but are helpful, especially for projects in single-family residential areas. Signatures may be provided below (attach additional sheets if necessary).

NAME (PRINT)	SIGNATURE	ADDRESS	KEY # ON MAP

REVIEW of the project by the applicable Neighborhood Council is not required, but is helpful. If applicable, describe, below or separately, any contact you have had with the Neighborhood Council or other community groups, business associations and/or officials in the area surrounding the project site (attach additional sheets if necessary).

ATTACHMENT A
MASTER CONDITIONAL USE PERMIT (CUB) ON- & OFF-SITE SALES
Entitlement Request & Project Description

619-629 S. Bixel Street and 632 and 634 S. Lucas Avenue

The Applicant, **NASH Holland, LLC** requests the following discretionary action:

- Pursuant to **LAMC Section 12.24 W.1**, the Applicant requests a Master Conditional Use Permit Beverage (“Master CUB”) to permit the sale of a full line alcoholic beverages or beer and wine, for on-site consumption and off-site sales in conjunction with the proposed development of a mixed use project, which will include 26,909 square feet of commercial space. The Applicant is requesting the ability to sell alcohol within 5 of the 7 proposed commercial spaces. One will be for a grocery outlet and 4 will be for restaurants, which could include retail sales of alcohol.

Pursuant to various sections of Los Angeles Municipal Code, the Applicant will also request approvals and permits from the Building and Safety Department (and other municipal agencies) for project construction activities including, but not limited to the following: demolition, building and tenant improvements.

The Applicant’s Project has been subject to multiple environmental reviews, including an Environmental Impact Report (ENV-2007-5887-EIR) and statement of Overriding Considerations, which were previously approved and certified on October 31, 2012, The 27,787 square feet of commercial space proposed by the Applicant falls within the 39,996 square feet of neighborhood serving retail originally analyzed in the EIR. Mitigation measures were incorporated into the EIR. The EIR was subsequently reconsidered in connection with the November 16, 2015 approval of Case No. DIR-2008-SPP-SPPA-DB-1A. The proposed master beverage permit will not change the retail use, floor area, density, height, setbacks, lot coverage, or parking standards approved in the previous cases for the Project, and there is no evidence that it will have a significant impact on the environment. Therefore, the Applicant’ request does not meet any of the criteria or conditions specified in CEQA Guideline Section 15162 for subsequent environmental review. The already approved mitigation measures address the negative environmental effects of the Project, and therefore the previously certified EIR should be reconsidered in connection with this application.

PROPOSED MASTER CONDITIONAL USE PERMIT REQUEST:

The Applicant requests a Master Conditional Use Permit Beverage (“Master CUB”) to permit the sales of a full line alcoholic beverages, including beer, wine and distilled spirits, for on-site consumption and off-site sales in conjunction with the proposed development of a mixed use project, which will include 26,909 square feet of commercial space divided into 7 commercial spaces. The Applicant is requesting five (5) total alcohol permits: four permits for each one of the restaurants, which might include an off-site retail component, and one for the grocery outlet. Each of the restaurants and grocery outlet will have their own individual outdoor seating areas that front either on 6th Street or on Bixel Street. Total alcohol sales for the 5 requested permits will cover approximately 24,999 square feet of commercial floor area.

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

The Applicant is in the process of identifying tenants that wish to sell alcoholic beverages for both on-site and off-site sales. The Applicant proposes a Master CUB for on-site and off-site consumption. This Master CUB for Alcohol application is being filed by the developer of the Project Site – on behalf of future sub-lessees who may want to serve for on-site and/or off-site consumption either a full line of alcohol or beer and wine in connection with the operation of individual restaurants and specialty markets or similar type retail establishment. The specific details of each alcohol sales establishment will be reviewed pursuant to a subsequent and separate Plan Approval process.

PROJECT BACKGROUND

The property located at **619-629 S. Bixel Street and 632 and 634 S. Lucas Avenue** (the Site”) has received approval on July 19, 2013 pursuant to DIR 2008-3407(SPP, SPPA, DB) for a mixed-use development with 648 residential units located above approximately 39,963 square feet of neighborhood serving retail uses.

The Applicant is currently constructing the Project which consists of two new mixed use buildings, underground parking and the adaptive reuse of an existing 8 story medical office into 42 joint live work dwelling units. Although the Project was approved for 39,936 square feet of commercial space, the Applicant is constructing only 26,909 square feet of commercial space divided into 7 commercial spaces. The Approved Project is located on approximately 175,749 net square feet (4.03 acres) and is comprised of eight, irregularly shaped parcels (the "Site”). The Site is bounded by 6th Street to the northeast, Bixel Street to the southeast, Lucas Avenue to the northwest, and developed properties to the southwest. The Site is located in the Westlake Community Plan as well as the Central City West Specific Plan (“CCWSP”).

Commercial Parking

The Site proposes to provide 80 parking spaces for the of commercial/retail space on site, pursuant to Section 12.21 A.4(x)(3)6. The Site shall provide two parking spaces for every one thousand square feet of combined gross floor area of commercial, business, retail, restaurant, bar and related uses on any lots in an Enterprise Zone.

Parking Access

As shown on the Plot Plan, vehicular access to the Site would be provided via four driveways. An ingress/egress driveway would be provided along 6th Street. South Bixel Street would include one ingress/egress driveway and Lucas Avenue would include two ingress/egress driveways. The driveways will not be signalized and/or stop-controlled as each driveway would be located mid-block.

All driveways would provide direct access to the Project Sites parking garage, three of which would provide parking for both the Project’s commercial and residential components, and one of which would be for residential parking only. The parking garage would consist of up to two subterranean levels and one ground level parking. No off-site parking is proposed for Phase 2.

In addition, loading dock facilities for the proposed commercial uses would be located within the central portion of the ground floor in the parking garage. Delivery trucks would enter the site from South Bixel Street, back into the loading docks in the parking garage, and pull forward and exit the site onto Lucas Avenue.

Transit Options

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

The Site is located within close proximity to MTA bus and rail transit lines, and DASH service, thereby affording access to residents and workers in the greater downtown Los Angeles area to enjoy the entertainment, restaurants and retail uses.

- Three Dash Service Lines are located proximate to the site.
 - Route A includes a stop at Bixel Street and Wilshire Boulevard, within one block of the Project Site, and Route E picks up at the corner of 6th and Bixel. Route A schedules its pick-ups every seven minutes between the hours of 6:00am to 6:30pm, and
 - Route E, the City West – Fashion District Route, of the Dash Services, which also has a pick-up of every five minutes between the hours of 6:30am and 7:00pm.
 - The Dash Pico Union/Echo Park includes a stop at the intersection of Lucas Avenue and 6th Street, directly across 6th Street from the site. The Pico Union/Echo Park Service Line has a pick up approximately every 10 minutes, 7 days a week between the hours of 5:00am and 10:30pm.
- The Metro Bus system provides local service along Wilshire Boulevard, Route 20, which provides easy access to the Westside of Los Angeles, including Beverly Hills and Santa Monica, and also connects to the light rail options in downtown.
- The Metro Rapid line #720 provides access from Commerce on the east to Santa Monica on the west with a stop located at 6th and Witmer and will utilize the Wilshire BRT.
- Subway services are located only a few blocks from the Site. The Red Line station located at Figueroa and 7th Street, and the Blue Line station located at 7th Street and Flower Street (7th/Metro Center) will rapidly take the commuter throughout many parts of the City.
- There are also two Express Bus services, #487 and #489, which operate along Wilshire Boulevard. Finally, 6th Street offers both local and rapid bus services. The local service line, #18, provides access from Montebello on the east end and Wilshire Center on the west end.
- The local and limited lines #16/316 also provide a stop at the intersection of Bixel Street and 6th Street.

Because many trips can be made by transit and walking, there is less need for a car in a downtown environment (a major attraction to people purchasing or renting residential units in the Downtown), and therefore less of a need for parking spaces.

The transit options allow for visitors to access the Approved Project, including its numerous restaurants and retail uses, without having to drive to or from the Site.

PROJECT ZONING

The Specific Plan defines two zoning designations on the Site. The northwestern portion at the corner of Lucas Avenue and 6th Street, which includes the entirety of Phase 1 and portions of Phase 2, is zoned C4(CW)-U/4.5, allowing a floor area ratio of 4.5 to 1, while the remainder of Phase 2 (and majority of the entire site) is zoned C4(CW)-U/6, allowing for a floor area ratio up to 6 to 1.

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

Pursuant to the Westlake Community Plan, the Site has two land use designations that correspond to the zoning designations. The northeastern portion of the site, which includes the vacant gas station, service bays and associated surface parking lot, and the southeastern corner of the site (Lot 94) are designated “Regional Center Commercial” by the Community Plan and the remainder and larger portion of the site is designated “Community Commercial”. The Site is located in South Subarea 4 and specifically the Wilshire Corridor District within the CCWSP. This region, situated just to the west of the Harbor Freeway and the Financial District, is currently realizing significant redevelopment activity, especially high-density residential and mixed-use projects. In addition, the Project is located in the Los Angeles State Enterprise Zone that provides certain incentives to encourage economic development. Lastly, the subject property is also located within the Central City Revitalization Zone.

SURROUNDING ZONING AND USES

North: The Project Site is bounded by 6th Street to the north. The northeast corner of 6th Street and South Bixel Street is improved with a surface parking lot. Along the north side of 6th Street, between Lucas Avenue and South Bixel Street, is a mix of commercial retail and office buildings with varying architectural styles. Building heights vary from one- to six-stories tall. The northwest corner of 6th Street and Lucas Avenue is developed with one-story commercial retail use. The zoning to the north of the site is C2(CW)-U/3 and C4(CW)-U/4.5.

East: South Bixel Street bounds the site on the east. The area to the east of the project site along South Bixel Street is developed with approximately 350 high-end luxury apartments and potentially a ground floor commercial retail component. Building heights within the adjacent site range from six to eight stories. Southeast of the project site is the 14-story City of Hope building, which is a biomedical and treatment center. The ground floor of the building consists of two restaurants and a printing shop. The zoning for the uses to the east is C4(CW)-U/6.

South: The area to the south of the Project Site, between Lucas Avenue and South Bixel Street, and north of Wilshire Boulevard, is developed with a mix of uses. Along South Bixel Street is a five-story apartment complex followed by a site currently under construction at the corner of Wilshire Boulevard. The site is approved for a 7-story mixed use building consisting of residential and commercial uses. Along Wilshire Boulevard, west of the parking lot, is a 16-story medical office building and a nine story affiliated parking structure. The two-story Asian Pacific American Legal Center and an annex to the Good Samaritan Hospital are also located along Wilshire Boulevard. In addition, a five-story parking structure borders the site to the south. The zoning for the uses to the south is C4(CW)-U/6.

West: Lucas Avenue bounds the Project Site to the west. Beyond Lucas Avenue is the Good Samaritan Hospital. The hospital site consists of various buildings ranging in height from approximately two stories to eight stories. Along Lucas Avenue, two access points are provided to the Hospital site. First, generally across from the central portion of the project site is a loading dock driveway. Second, south of the loading dock driveway is a drop off area for an auditorium/conference center within the hospital site. Neither of these driveways is utilized for emergency access to the Hospital. Access to the Hospital’s emergency room is

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

provided via a driveway generally mid-block of the Hospital frontage along 6th Street. Patient parking and general access to the Hospital is provided via Witmer Street. The zoning for the uses to the west is C4(CW)-U/6 and C4(CW)-U/4.5.

**MASTER CONDITIONAL USE PERMIT (CUB)
CONDITIONAL USE FINDINGS FOR ALCOHOL**

A. CONDITIONAL USE PERMIT APPROVAL FOR ALCOHOL SALES PURSUANT TO LOS ANGELES MUNICIPAL CODE SECTION 12.24 W.1.

1. THAT THE PROJECT WILL ENHANCE THE BUILT ENVIRONMENT IN THE SURROUNDING NEIGHBORHOOD OR WILL PERFORM A FUNCTION OR PROVIDE A SERVICE THAT IS ESSENTIAL OR BENEFICIAL TO THE COMMUNITY, CITY OR REGION.

The Applicant's approved Project Site consists of the construction of a mixed-use project, containing residential and retail, with dining opportunities and groceries, in the heart of the CCWSP Area in the City of Los Angeles. The CCWSP area has experienced substantial residential and commercial growth since its adoption in 1991 and subsequent amendments through 2009.

Examples of residential and mixed-use projects that have been approved and/or developed include, reuse of the 1100 Wilshire Building, and the adjacent Piero Apartments and a mixed-use project under construction for the 1120 W. 6th Street property. In addition, the Applicant has successfully completed the abutting mixed-use project at 1111 Wilshire Boulevard and the GLO Project located at the southeast corner of Wilshire Boulevard and Bixel Street.

Well-known restaurants and drinking establishments, such as the Pacific Dining Car has held a prominent and long-term position on 6th Street drawing diners from the downtown area for power lunches and relaxed evening dining.

Businesses continue to expand and more residents of mixed-use units are expected to reside in or near the Project area of the Westlake Community Plan area.

As a result of commercial and residential growth in the CCWSP area, the built environment in the surrounding neighborhood will be enhanced with the addition of up to four (4) restaurants/retail and a specialty grocery market that will provide services that are essential and beneficial to the community. The uses will cater to the needs of the community, a diverse neighborhood with appeal that extends beyond the borders of the Specific Plan Area, thereby drawing interest from the growing number of residents, as well as the workers, in the greater downtown Los Angeles area.

The Master Conditional Use Permit ("Master CUB") is requested to cover a variety of uses in order to serve a full-line of alcoholic beverages for off-site consumption in the grocery outlet and beer and wine for on-site consumption within the restaurant uses located at the Project site.

The proposed mixed use Project will consist of two buildings with the following commercial areas to include the sales of alcoholic beverages:

Building 1 – Commercial Space	Use	Sales of Alcoholic Beverages	Floor Area
A	Restaurant/retail	Beer and wine or a full line on/off sales	2151 Sq. Ft.

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

B	Restaurant/retail	Beer and wine or a full line on/off sales	1250 Sq. Ft.
C	Grocery Outlet	Full line on/off sales	16,500 Sq. Ft.
D	Restaurant/retail	Beer and wine or a full line on/off sales	1905 Sq. Ft.
Building 2 – Commercial Space			
E	Restaurant/retail	Beer and wine or a full line on/off sales	3,193 Sq. Ft.
F	Commercial	Retail sales only	1,030 Sq. Ft.
G	Commercial	Retail sales only	880 Sq. Ft.

Although the Applicant has received approval for up to 39,996 square feet of commercial floor area, only 26,909 square feet of commercial space is proposed. Of that floor area the Applicant is proposes to have sales of alcohol beverages in only about 8,499 square feet of restaurant/retail space, and a 16,500 square feet of grocery outlet. The remaining 1,910 square feet of commercial space will be used for neighborhood serving uses with no alcoholic beverage sales. The issuance of a Master CUB for the sale of alcoholic beverages will enhance the services that the Project brings to the community by providing new retail floor area, restaurants and sales of groceries opportunities

The Site fronts on 6th Street, Bixel Street, and Lucas Avenue which creates an interface with neighboring mixed-use projects and a mixture of other commercial businesses and residential properties. The restaurant spaces and grocery outlet are strategically located along the street frontages of Bixel and 6th Street and the open passageways of paseos that bisect the Site with internal walkways that maximize and enhance pedestrian activity. Mixed-use projects located in the Specific Plan area and the resurgence of downtown development, will bring increased pedestrian activity to the neighborhood, as residents and workers in the area will have easy access to the proposed Project offering a choice of restaurants, grocery outlet and retail establishments.

The objective of the proposed Project is to create an inviting, pedestrian-friendly development, consistent with the goals of the Central City West Specific Plan and the Westlake Community Plan Area. Activities such as dining with the availability of alcoholic beverages are an essential part of a quality sit-down restaurant experience. The success of restaurants often depends upon their ability to provide this service to their patrons. Such activities are a natural and vital extension of the restaurant use and a function of a pedestrian-friendly environment. In addition, these outlets may possibly have off-site sales in connection with and as a supplement to the on-site sales. The inclusion of a 16,500 square foot grocery outlet will not only provide convenient access to the Project residents but will be a focal point for food shopping to the residents of the surrounding neighborhood.

Only a portion of the Project is set aside for the restaurants and specialty market that would sell alcoholic beverages. The Applicant’s goal for the Project’s commercial uses are to provide neighbor serving uses with the service of alcoholic beverages as a secondary amenity and convenience factor for those patrons shopping and dining

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at the site. The approval of a Master CUB would provide a comprehensive approval process with subsequent plan approvals that set specific conditions for each use.

The approved mixed use Project meets many of the goals and objectives of the Westlake Community plan including satisfying housing needs. Along with the housing is the need for local goods and services that are further satisfied by the Project with the commercial retail, restaurants and grocery outlet. The Project addresses this commercial issue by proposing to draw not only local residents and workers but also visitors from throughout the Specific Plan area and the Downtown commercial core. The redevelopment of an underutilized site with aging structures in a modern housing and commercial facility will enhance the built environment in the surrounding neighborhood by stimulating economic growth.

As Project approvals move forward, the Applicant will secure the commercial tenants, many of which would likely serve alcoholic beverages for on/off-site consumption in the restaurant spaces, for a full line or beer and wine sales. Similarly, the Applicant proposes space for a specialty market that would likely sell a full line of alcoholic beverages in the 16,500 square feet of floor area set aside for off-site consumption.

As the growing residential population in mixed-use developments and the day-time work force of the Downtown commercial core expands, so does the need for certain goods and services, which is the primary rationale for the development of the Project with a mix of retail, grocery outlet and restaurant uses. Providing alcohol for consumption allows the neighborhood residents as well as workers to enjoy the convenience of proximate restaurants. The off-site sale of alcoholic beverages in a specialty market allows the neighborhood residents to obtain such beverages to take home for personal consumption and avoid driving to specialty liquor stores or other more distant locations.

Securing a Master CUB for on-site and off-site sales in the Project Site is an appropriate way to help further the goals of development in the area. This request is associated with the upgrading of a residential and commercial area in transition, where much of the recent development has been residential and mixed-use projects. The improvement of this area seeks to provide more dining and retail choices for local workers, visitors and the ever-growing residential base. The Project is in close proximity to mixed-use developments. The request for this Master CUB amenity is consistent with the effort to attract and draw more visitors to Central City West Specific Plan area, which in turn will lead to revitalizing the area.

The Applicant proposes a mixed-use development with improved access to quality food, beverages and neighborhood-serving retail uses. The future restaurant and commercial tenants will also help boost the economy of Los Angeles by creating jobs and contributing sales and business tax revenues. Therefore, the proposed Master CUB for on-site and off-site sales will provide additional services that are beneficial to the community.

For the reasons stated above, the proposed Master CUB will enhance the built environment in the surrounding neighborhood and will provide a service that is essential and beneficial to the community, city or region.

2. THAT THE PROJECT'S LOCATION, SIZE, HEIGHT, OPERATIONS AND OTHER SIGNIFICANT FEATURES WILL BE COMPATIBLE WITH AND WILL NOT ADVERSELY AFFECT OR FURTHER DEGRADE ADJACENT PROPERTIES, THE

SURROUNDING NEIGHBORHOOD, OR THE PUBLIC HEALTH, WELFARE AND SAFETY.

The Applicant's Project approved design is compatible with the existing and future development of neighboring properties, and consistent with the City's vision of the Westlake Community Plan. The Master CUB application is requested for commercial restaurant uses and a grocery outlet located within the floor area of the Approved Project and will not change the size, height, operations and other significant features of the Approved Project. A maximum of 640,000 square feet of floor area was approved for the Project Site that allows for certain uses of land that are permitted within in the existing zones. Of that square footage, a maximum of 39,996 square feet of floor area was approved for neighborhood serving retail and restaurants. The proposed restaurants, commercial spaces and the grocery outlet are uses that are compatible with and are designed to serve the adjacent properties, and the surrounding neighborhood and the existing zoning. On the contrary the Project will improve that neighborhood character by providing much needed housing and successful commercial uses that will serve the local residents of the Project, the surrounding area and the Downtown Core.

In recent years, new mixed use and residential development has replaced old and outdated commercial sites that are no longer financially viable with much needed residential units together with neighborhood supporting commercial uses proposed by the Project.

The Project's proposed architectural style reflects and improves on the quality of the immediate neighborhood. The approved bulk, mass and height of the Project's buildings are designed to be compatible and complementary to the other buildings in the immediate vicinity that have been built as commercial, mixed-use and residential projects.

The Project Site adjoins three streets that serve local traffic. With its frontage oriented primarily to 6th Street, the site focuses its vehicular access off of 6th Street and Bixel Street. 6th Street is a designated Secondary Highway, Lucas Avenue is designated as Secondary Highway and Bixel Street is a designated Modified Secondary Highway. The proposed ground level retail and restaurant uses will not only complement the surrounding community, but enhance it as well. The Piero Apartments and the proposed mixed-use project between 5th Street, 6th Street and Bixel Street bring many residential units proximate to the Project Site.

Therefore, the Project's location, size, height, operations and other significant features will be compatible with and will not adversely affect or further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare and safety. Approval of the Master CUB will also be consistent for the following reasons:

1. The development's attractive design contributes significantly to its relationship to adjacent uses.
2. New high quality restaurants commercial uses which include the sale of alcohol for on/off-site consumption are consistent with existing restaurants in the area.
3. New restaurants will encourage pedestrian activity from residents of nearby mixed-use buildings and commercial businesses, including the residential

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units and the live work units to be located in the Project, and will engage visitors from the Downtown with another commercial grocery outlet.

4. Successful restaurants help to encourage economic development, which is consistent with the goals of the City.
5. The commercial components of the Project are in proper relationship and consistent with the existing development and zoning pattern because it provides restaurants and retail uses for nearby residents and workers, as well as for the professionals from the Downtown core.
6. The proposed restaurants are likely to create synergy with nearby uses. It is anticipated that many residents and workers in the surrounding neighborhood will take advantage of dining opportunities proximate to places of living and work.
7. The specialty market that offers alcoholic beverages for off-site consumption will provide a service to the residents and workers in the local neighborhood.

Additionally, the sale of alcohol in on-site restaurants has become necessary in order to compete with other restaurants for patrons who prefer an alcoholic beverage with their meals. The sale of alcohol contributes to the overall financial success of restaurants. Successful restaurants in the area are increasingly contributing to the overall success of the community as a desirable place to live, work and shop, which leads to positively impacting the property values of commercial and mixed-use properties. Therefore, the sale of alcohol for on-site consumption will neither adversely affect nor further degrade adjacent properties, the surrounding neighborhood, or the public health, welfare and safety, but rather will be advantageous to the immediate neighborhood. Similarly, the proposed specialty market that will also sell alcoholic beverages in a portion of its floor area for off-site consumption will be advantageous for the immediate neighborhood, and will not adversely affect nor further degrade adjacent properties or the surrounding neighborhood.

More importantly, each of the future restaurants/retail and the specialty market to be located in the development will be required to apply for a Plan Approval with the Los Angeles Department of City Planning. Specific and appropriate findings/justifications, conditions and measures will be applied to the individual restaurants through the required Plan Approval process to further ensure that the character of development in the immediate neighborhood is not negatively impacted.

Lastly, to guarantee that there will not be any deleterious impact to the immediate neighborhood, the City of Los Angeles and State of California Department of Alcoholic Beverage Control (“ABC”) independently retains the authority to revoke permits and/or licenses which allow the sale of alcoholic beverages at the Project Site should there be circumstances that rise to the level of non-compliance of the approval conditions of the MCUB, state ABC laws and local LAMC standards.

3. THAT THE PROJECT SUBSTANTIALLY CONFORMS WITH THE PURPOSE, INTENT AND PROVISIONS OF THE GENERAL PLAN, THE APPLICABLE COMMUNITY PLAN, AND ANY APPLICABLE SPECIFIC PLAN.

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In the process of approving the Project, the City found that the Project was consistent with the General Plan. Approval was granted for commercial space up to 39,996 square feet of floor area within the overall Project floor area. Now that the Applicant has begun to identify and refine tenant space, a Master CUB is requested for some of the commercial spaces as a secondary and complementary use for up to 25,632 square feet. Generally, the General Plan, the Framework Plan and the CCWSP do not regulate the sales of alcoholic beverages. However, there are economic benefits that satisfy many of the goals and objectives of the General Plan and other related land use documents.

The proposed sales of alcoholic beverages in the commercial spaces of the Project Site can be found to be consistent with many of the goals, objectives and policies of the General Plan. The following will discuss the Project's consistency with various elements of the General Plan, including the Westlake Community Plan, the Transportation Element and the Central City West Specific Plan ("CCWSP"). There are no specific plans that would affect development of the requested on-site and off-site sales Master CUB.

The granting of the requested determination is consistent with the principals, intent and goals of the geographical specific plan and any applicable element of the General Plan. The construction of residential units is a major emphasis of the CCWSP, an objective of the Westlake Community Plan as well as the General Plan Housing Element. The Approved Project will add 606 dwelling units and 42 joint live/work units to the site.

WESTLAKE COMMUNITY PLAN

Although the Community Plan does not address specific guidelines or policies that address the sales of alcoholic beverage, the approved overall Project is consistent with a number of the residential and commercial objectives of the Community Plan. The provision of alcoholic beverages does not change the overall scope and character of the resultant Site.

Residential Objectives

- 1. To designate a supply of residential land adequate to provide housing of the types, sizes, and densities required to satisfy the varying needs and desires of all segments of the community's population.*

Commercial Objectives

- 1. To conserve and strengthen viable commercial development in the community and to provide additional opportunities for new commercial development and services.*
- 2. To provide a range of commercial facilities at various locations to accommodate the shopping needs of residents and to provide increased employment opportunities within the community.*

The Westlake Community Plan's first residential objective stresses the importance of supplying "residential land adequate to provide housing of the types, sizes, and densities required to satisfy the varying needs and desires of all segments of the community's population." The proposed Project builds urgently needed units on appropriately designated parcels that are under-developed. Under its "Community

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Issues and Opportunities” Section, the Westlake Community Plan recognizes that two important land use opportunities include “access and proximity to employment for community residents” and “potential for residential and mixed use development along Commercial Corridors.” Under its commercial objectives, the Westlake Community Plan seeks “to improve the compatibility between commercial and residential uses,” a target that is attainable with the type of mixed-use development approved at this Site.

This Project Site will result in the construction of urgently needed dwelling units on appropriately designated parcels that are currently under developed and aesthetically unappealing. In connection with the residential units, the inclusion of retail, restaurant and grocery uses will not only provide easily accessible services to the neighborhood it also provides the same benefits to the Project residents. The service of alcoholic beverages in the restaurants complements those uses permitting patrons the opportunity to enjoy a beer and wine or a cocktail. The sales of alcoholic beverages in the grocery outlet is a convenience that allows for one stop shopping and avoids having to drive to other locations to obtain such purchases.

The proposed sales of alcoholic beverages is only a small part of those businesses and not the main focus a business such as a liquor stores and other such businesses that have the primary focus of sales of alcoholic beverages.

CENTRAL CITY WEST SPECIFIC PLAN

While the CCWSP does not regulate the sales of alcoholic beverages specifically the mixed use Project, a number of the Specific Plan’s “Purposes” are met as a result of the Approved Project in relation to the application for the sales of alcoholic beverages:

Section 2.B. *Establish a complete 24-hour community for all segments of the population, with jobs and housing, needed public facilities, recreation/entertainment and amenities, open spaces and pedestrian oriented places.*

The Project will provide much needed housing opportunities for those who work in the community. The Site is located near one of the major employment centers in the region, Downtown Los Angeles. This Project will create rental-housing opportunities within walking distance of numerous jobs and transit options. Housing typically is the catalyst in creating and expanding commercial and retail services in a given area as there is a new market (of residents) that is as yet untapped. Because “residential” is a 24-hour use, these businesses usually extend their hours in order to accommodate those that live in the area giving rise to a more vibrant and a safer community. With more retail businesses established in the community, the streets are activated for greater pedestrian traffic. The Project will provide a unique focal point along 6th and Bixel Streets with the offer of retail, restaurants and a grocery outlet that are easily accessible to the neighborhood. The sale of alcoholic beverages is a secondary use but is desirable amenity for successful restaurants and a convenience amenity for those shopping at the grocery outlet.

Section 2.C. *Regulate all development including use, location, height and density to ensure compatibility of uses, and to provide for the consideration of transportation and public facilities, aesthetics, historic preservation, open space and the economic and social well-being of area residents.*

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This section has the objective of regulating height and density to ensure compatibility of uses. While not utilizing its entire permitted floor area, the Approved Project proposes to average the permitted floor area over the entire site in order to achieve a development pattern consistent with other neighboring properties. The ability to average the permitted floor area results in a new building that does not exceed 6 stories in height; therefore, the height is not incompatible with neighboring properties. The Project Site approval made the finding that the development is compatible with the height and floor area ratio districts. The requested Master CUB retail, restaurant and grocery outlet will be located within the approved floor area and will not change the height and floor area or density.

Section 2.D. *Protect the existing residential community from further displacement, replace dwelling units previously removed from the Specific Plan area, and provide new housing in proportion to the need, by household size and income, associated with the existing community and new jobs generated in the Plan area.*

The Site is currently developed with an 8-story medical building that is being converted through the adaptive reuse process into 42 JLWQ units. Until recently the Site was improved with five multi-use buildings, carports, service bays and a paid public surface parking lot, which were all demolished to make way for the Project. The Site proposes a mix of unit sizes to meet the needs of housing by household size and income and will not displace any existing residential units.

Section 2.F. *Ensure that commercial, industrial and mixed use Projects mitigate the impact of their development on the supply of affordable housing stock through the payment of a Housing Linkage Fee and/or the construction of affordable housing within the areas designated by this Specific Plan.*

The Approved Project will provide 5% of its units as affordable housing within the Phase 2 portion of the Project Site. Under the “Community Issues and Opportunities” section, the Westlake Community Plan identifies the “need for more affordable housing” as an important residential land use issue. Furthermore, the Community Plan identifies the opportunity to “provide for a variety of housing opportunities by income, with an emphasis on the creation of middle-income neighborhoods especially targeted for downtown workers.” With the affordable units and a mix of other unit sizes, the Project proposes to provide housing opportunities for people employed in the downtown area.

Section 2.G. *Provide for an improved jobs/housing ratio over that which would otherwise have occurred, through the requirement that housing be constructed commensurate with commercial Projects.*

The retail space will provide new jobs within the community. More importantly, bringing 648 housing units to the jobs-rich environment of downtown Los Angeles helps to improve the jobs/housing ratio which otherwise would not occur absent new housing opportunities in the community. By adaptively re-using an underutilized office building to create JLWQ units, the project brings an additional benefit to improving the jobs/housing balance with more residential units that do not require job commuting by its residents. The Downtown commercial core, which is proximate to the subject site, is a major source of jobs in Los Angeles. However, the Downtown area lacks the appropriate jobs/housing ratio due to the presence of many high-rise office buildings that lack residential facilities in close proximity.

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Section 2.H. *Create new mixed-use residential/commercial land use categories, in order to locate housing closer to jobs, reduce vehicle miles traveled and improve air quality.*

By converting an underutilized office building into residential uses and constructing a new mixed use building with ground floor neighborhood serving retail spaces, this project fulfills the purpose of the CCWSP to create new mixed use residential and commercial land use. With the major employment center of nearby Downtown Los Angeles, new residents will be able to locate closer to jobs. The use of public transit or the ability to walk to Downtown allows for a significant reduction in vehicle miles traveled, and subsequently, should lead to improvement of local air.

Five of the first seven Purposes listed in Section 2 of the CCWSP discuss the need for housing within the Specific Plan area. Consequently, the construction of housing units is a central purpose of the CCWSP. *Purpose B* of the Plan intends to “establish a complete 24-hour community for all segments of the population, with jobs and housing, needed public facilities, recreation/entertainment and amenities, open spaces and pedestrian oriented places.” The Site is located near one of the major employment centers in the region, downtown Los Angeles. This Approved Project will create 42 JLWQ units within walking distance of numerous businesses. The CCWSP also calls for affordable housing, which is achieved by the unified development to which the joint live/work project will be linked.

While the proposed Master CUB is requested for the purpose of alcohol sales, such a request is refinement of the approved commercial space uses within the Project floor area and dimensions. The Master CUB for the commercial uses would result in providing jobs close to housing, retail, restaurants and grocery use closer to existing housing as well as the proposed Project housing which in turn would result in reducing miles traveled and improving air quality.

HOUSING ELEMENT

The Housing element has been updated since the original Project approval with the adoption of the Housing Element 2013-2021. The Project Site has achieved goals of the updated Housing element by proposing and obtaining approval of a 648 unit mixed use project with a 42-unit adaptive reuse live work component, 39,996 square feet of commercial floor area and 27 Very Low Income affordable units. The Project Site achieves a smart growth objective by locating its density near the transit corridor of Wilshire Boulevard and in close proximity the job-rich center of downtown Los Angeles. The proposed Project delivers the type of housing so desperately needed and encouraged by the Housing Element. While the main objective is to create new housing, as a complement the overall Project Site is the approval of a Master CUB to allow the sale of alcoholic beverages for on-site and off-site consumption. The Master CUB is essential for a successful commercial development that proposes new high quality restaurants and an urban specialty market, in addition to a variety of other retail uses. Therefore, making the Project consistent with the principles, intents and goals of the Housing Element.

GENERAL PLAN FRAMEWORK

As noted in the Executive Summary Introduction, the General Plan Framework Element is *“a strategy for long-term growth which sets a citywide context to guide*

the update of the community plan and citywide elements.” The primary objectives of the policies in the Land Use chapter are to “*support the viability of the City’s residential neighborhoods and commercial districts, and, when growth occurs, to encourage sustainable growth in a number of higher-intensity commercial and mixed-use districts, centers and boulevards and industrial districts particularly in proximity to transportation corridors and transit stations.*” The Approved Project is accessible to transportation corridors and transit stations. Moreover, the Executive Summary notes that economic development policies are intended to facilitate job growth. Key policies in this regard include: “*Provide sufficient land to support economic development activities*” and “*Promote the re-use and recycling of deteriorated commercial and industrial districts.*” To those ends, the Project Site is of sufficient size to create a viable mixed-use development that includes retail uses, grocery outlet, live/work units and new restaurants, to produce a development that will facilitate residential dwellings and job growth so as to enhance the job base and the quality of life.

The General Plan Framework, Land Use Objective 3.4, seeks to “*encourage new multi-family residential, retail commercial, and office development in the City’s neighborhood districts, community, regional, and downtown centers as well as along primary transit corridors/boulevards, while at the same time conserving existing neighborhoods and related districts.*” The Approved Project follows the consideration of the General Plan and the Specific Plan to locate new housing in proximity to public transportation and other public facilities. Furthermore, the General Plan Framework, in Objective 4.2, seeks to “*Encourage the location of new multi-family housing development to occur in proximity to transit stations, along some transit corridors, and within some high activity areas with adequate transitions and buffers between higher-density developments and surrounding lower-density residential neighborhoods.*” The Approved Project is within one block of the major corridor of Wilshire Boulevard, which provides MTA Rapid Bus service that also connects to the Metro Rail stations to the east and in downtown Los Angeles.

The Land Use chapter of the General Plan Framework Element includes several goals, policies and objectives that support the Project’s request for a Master CUB to provide for on-site and off-site sales of alcoholic beverages:

Goal 3A: A physically balanced distribution of land that contributes towards and facilitates the:

- ***City’s long-term fiscal and economic viability,***
- ***Revitalization of economically depressed areas,***
- ***Conservation of existing residential neighborhoods,***
- ***Equitable distribution of public resources,***
- ***Provision of adequate infrastructure and public services,***
- ***Reduction of traffic congestion and improvement of air quality,***
- ***Enhancement of recreation and open space opportunities,***
- ***Assurance of environmental justice and a healthful living environment,***
and
- ***Achievement of the vision for a more livable city.***

Goal 3A seeks a balanced distribution of land that contributes towards and facilitates the revitalization of economically depressed areas. The Applicant’s Approved

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Project is geared to revitalizing an underutilized commercial property so as to provide opportunities for new housing as well as business creation and job growth. The redevelopment of the Site that includes commercial retail space, and restaurant uses that add new jobs will contribute significantly towards the City's long-term fiscal and economic vitality, which is an important goal of the General Plan Framework in its land use and economic development policies. The provision of a grocery outlet in an area where there are limited shopping opportunities is a bonus to the neighborhood and supplies a need that appears to be a limited selection of such amenities.

Successful restaurants contribute to the revitalization of an area that has underutilized property, aging structures and vacant buildings. Moreover, the sale of alcohol for on-site consumption in restaurants has become necessary in order to compete with other restaurants for patrons who prefer an alcoholic beverage with their meals.

The Approved Project's new commercial retail space and restaurants serving alcohol will be neighborhood serving and beneficial to workers at nearby commercial and residential properties and to the residents of mixed-use projects located in the surrounding neighborhood, as well as to the adjacent Downtown Core. The ongoing development of more commercial and mixed-use projects in the general vicinity is beneficial for the City's long-term fiscal and economic viability. The proposed Master CUB will contribute to the City's fiscal and economic viability by creating jobs in the new commercial uses and restaurants by revitalizing an area that is still in need of new investment. Approval of a Master CUB to allow the sale of alcoholic beverages for on-site and off-site consumption is essential for a successful commercial development that proposes new high quality restaurants and an urban specialty market, in addition to a variety of other retail uses.

In this regard, restaurants and drinking establishments have been approved by the City in other parts of the Downtown Core, consistent with the development of commercial properties that are compatible with the development of the area. This geographic area is experiencing a surge of economic growth that has spilled over from the Downtown Core. Therefore, the approval of a Master CUB for the on-site and off-site sales of alcoholic beverages is consistent with the goals and policies of the Economic Development chapter of the General Plan Framework, including the following goal and objective:

Goal 7B: A City with land appropriately and sufficiently designated to sustain a robust commercial and industrial base.

Objective 7.2: Establish a balance of land uses that provides for commercial and industrial development which meets the needs of local residents, sustains economic growth, and assures maximum feasible environmental quality.

Goal 7B recognizes that land must be appropriately and sufficiently designated to sustain economic activity that is generated by commercial and industrial enterprises. As such, the Project proposes to include restaurants and a specialty market for the sale of alcoholic beverages for on-site and off-site consumption, respectively. The restaurants and the specialty market will provide essential services for local residents and will sustain economic growth in the area.

As identified above, the Project is consistent with the General Plan and the Central City West Community Plan. The requested Master CUB would be a complement to

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the Approved Project findings, but at the same time, the requested Master CUB is only a part of the overall commercial activity contemplated for the Project.

B. ADDITIONAL FINDINGS

1. The proposed use will not adversely affect the welfare of the pertinent community.

Approval of a Master CUB for the Approved Project will not adversely affect the welfare of the community. The restaurants serving alcoholic beverages for on-site consumption and the specialty market selling alcoholic beverages for off-site consumption will be carefully controlled. As new tenants are identified for the commercial spaces requiring an alcohol sales permit, each individual establishment will be required to apply for a Plan Approval, which will be carefully reviewed by the Department of City Planning (“DCP”) and the California Department of Alcoholic Beverage Control (“ABC”). Security plans, floor plans, seating limitations and other recommended conditions, as well as the mode and character of the operation, will be considered, addressed and enforced through the imposition of specific conditions set forth in the Plan Approvals for each tenant space serving and selling alcoholic beverages. This will allow for further evaluation and continuous monitoring, ensuring that the individual sales outlets will not adversely affect the welfare of the community.

The Project is located within a highly urbanized setting situated in the CCWSP. The area surrounding the Project site is a mix of residential, commercial uses, mixed-use buildings, and restaurants. The request for on-site and off-site alcohol sales will be compatible with the surrounding neighborhood, as local residents and workers will be drawn to the amenities that accompany restaurants and specialty market allowing the showcasing of boutique wines and microbrews and other spirits for on-site consumption, and in the case of the grocery outlet, for take home consumption.

The close proximity to transit and easy walking distance from nearby mixed-use and joint live/work developments, in addition to commercial and industrial uses in the local neighborhood allows for alternatives to driving for those consuming alcoholic beverages, and as a result, the proposed use of restaurants and specialty market offering alcoholic beverages for on-site and off-site sales will not adversely affect the welfare of the adjacent community. Additionally, the Project will also positively benefit the City through generation of additional sales tax revenue, business licenses and other fees, and by providing additional short-term and long-term employment opportunities to area residents in the new restaurants and other retail uses to be provided in this new development.

Approval of the Master CUB for on-site and off-site sales will contribute to the success and vitality of the neighborhood and help make the Approved Project a unique place to visit, shop and dine in high quality restaurants, grocery outlet and retail stores.

2. Explain how the approval of the application will not result in or contribute to an undue concentration of such establishments.

The Project site is situated in an area primarily developed with commercial, retail and residential uses, with a significant workforce and expanding residential population, both of which demand shopping and dining services. As a result, there is a high concentration of alcohol uses in the immediate area (as measured by census tract

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data). However, it is not uncommon to have clusters of this nature in urbanized and pedestrian-oriented sections of the City.

According to the Department of Alcoholic Beverage Control (ABC) website, in Census Tract No. 2092.00, within which the Project is located, the maximum number of off-sale licenses permitted is 2, with 2 existing. Of the 2 off-sale licenses, only 1 license is the Type 21 full-line of alcoholic beverages, which is sold from one liquor store. The other off-site license is a Type 20 for beer and wine, and is associated with the Green Life Market. The maximum number of on-sale licenses permitted is 1, with 4 existing. Of the 4 on-sale licenses, Type 47 full-line of alcoholic beverages, one is for the Los Angeles Center Studios, one is for the Plan Check Kitchen and Bar and two are for Club SoHo.

Thus, the proposed on-site and off-site licenses could result in an undue concentration by definition of alcohol establishments in the area. However, considering the restaurant-rich nature of the greater Downtown Area, and the burgeoning need for amenities such as urban specialty markets, the off-site thresholds are unrealistically low based on a small population number of 2,785 people in this census tract. The off-site sales will be an amenity to commercial uses by providing sales of alcohol beverages for consumption at private homes. Furthermore, offering a full line of alcoholic beverages for off-site consumption offers a further convenience to the local neighborhood residents. Only one of these off-site licenses is for a liquor store. The other off-site license sells alcohol in conjunction with other products such as food. The commercial space that proposes to sell alcoholic beverages for off-site consumption is a specialty market that offers a variety of high-end goods typically not found in gas stations and general food markets. The proposed specialty market will utilize only 16,500 square feet of floor area with a minor floor area for alcohol sales, with the overwhelming majority of the floor area devoted to the sale of grocery and food items and non-alcoholic beverages.

In addition, the Project is located in an area of the City that is growing with new residential mixed-use and adaptive reuse projects that would potentially affect the local population by increasing the number of residents. The ABC calculates concentration based on the number of residents in a given census tract. The past decade has seen the number of residents in the CCWSP grow significantly.

However, with the Approved Project and several others in the area, there is a definite trend that is resulting in a rapidly expanding population. Therefore, this census tract would be able to absorb additional alcohol outlets without a substantial increase in over saturation.

It is important to note that the vast majority of activities on the Project Site will not involve the sale of alcoholic beverages. Less than 4% of the Approved Project's total floor area will be devoted to the sale of on-site alcoholic beverages in connection with high quality restaurants from the specialty market outlet.

In addition, the proposed Master CUB for on-site and off-site sales will potentially consist of restaurants with indoor and outdoor dining for on/off-site sales of a full line or beer and wine sales in the Project's commercial space, while the urban specialty market will offer for off-site sales a full line of alcoholic beverages and beer and wine.

Finally, to ensure the on/off-site sales will not create detrimental impacts on the surrounding area, the specific detail of each establishment will be reviewed and

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conditioned pursuant to a Plan Approval process. It is to be noted that on-site and off-site sales will take place at establishments within the commercial space of the Project. This will allow for a comprehensive review of each request with input from each prospective tenant. Security plans, floor plans, seating limitations and other recommended conditions, as well as the mode and character of the operation, will be addressed and assured through the imposition of site-specific conditions. This extra protection will ensure that no adverse impacts will result due to off-site alcohol sales and on-site consumption.

The Los Angeles Police Department (“LAPD”) provides a broad range of crime statistics on their website. Each division of the LAPD is divided into Crime Reporting Districts. The Project site is located in the Rampart Division of the LAPD jurisdictions and is located in Crime Reporting District #249.

However, the online crime statistics are not presented by Crime Reporting Districts but by a certain radius around a particular site address. Review of this information for a 1/4-mile radius around the Project site provides that there are 59 records from August 3, 2016 to January 30, 2017.

The LAPD has not provided any statistics for Crime Reporting District #246 or made a determination that the Project site is located in a high crime reporting district.

Although the Census Tract would be considered to be over-concentrated according to the ABC, based on a population of 2,785 occupants and would trigger a CALDERA finding for the off site sales at the grocery store (pursuant to CA Business and Professions Code Sec. 23958 and 23958.4)¹ the Applicant is proposing a comprehensive commercial development that will not allow the sales of alcoholic beverages to be the predominant use of the Project and such sales will be a complement and convenience to the other uses in the neighborhood that are shifting with more upscale mixed uses, residential, and commercial development coming into the area. Additionally, the census tract is experiencing significant population growth and with development of the approved Project of an additional 648 dwelling units which would increase the population by more that 20% in this census tract. There are other planned and approved projects that include residential dwelling units in the area that would also increase the population. Therefore, the resulting saturation would be less significant based on the newer census figures.

3. Explain how the approval of the application will not detrimentally affect nearby residential zones or uses.

The proposed Master CUB for on/off-site sales of alcoholic beverages will not detrimentally affect nearby residentially zoned properties. There are no residentially zoned communities within a 600-foot radius of the Project Site, as the subject property is CCWSP C4 zoned properties to the north, south, east and west. However, there are residential and mixed-use buildings within a 600-foot radius of the Project Site, though the zoning designation of such properties is commercial. The CCWSP, though zoned commercial consists of a mix of commercial, and residential with restaurants selling alcoholic beverages located in proximity.

All of the commercial tenants will be part of a quality development and all alcohol service and sales will take place within a carefully controlled environment operated

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by responsible tenants. The Master CUB for the on/off-site sales of alcoholic beverages would be a partial addition to the development and would serve as a convenience for those patrons visiting the restaurants and the specialty market. Therefore, this use will not result in detrimental impacts to any nearby residential uses. There will be no off-site sales in the exterior areas of the facility nor will outdoor advertising soliciting sales of alcoholic beverages be permitted.

4. QUESTIONS REGARDING THE PHYSICAL DEVELOPMENT OF THE SITE

A. What is the total square footage of the building or center the establishment is located in?

The Approved Project floor area is divided between two buildings located in a 293,738-square foot mixed use building and in a 292,176 square foot mixed use building on a lot with a net area of approximately 166,003 square feet. The proposed restaurants and retail uses in connection with the Master CUB for on-site and off-site sales of alcoholic beverages will be situated around the perimeters of the buildings fronting on 6th Street and Bixel Street in connection with the Project's 24,999 square feet of commercial space allocated to the retail, restaurants and the specialty market.

B. What is the square footage of the space the establishment will occupy?

The retail, grocery and restaurant uses in connection with the Master CUB for on-site and off-site sales of alcoholic beverages will occupy somewhat less than the maximum Approved Project space of 39,996 square feet. Of this commercial square footage, 8,499 square feet is proposed for restaurant spaces and 16,500 square feet of the floor area in the specialty market for a total of 25,632 square feet. A separate Plan Approval will be required from the Department of City Planning for each future tenant that requires a permit to sell alcoholic beverages pursuant to the LAMC. The remaining 1910 square feet of retail will not have alcohol sales.

See Attached Table of Requested Alcohol Permits

C. What is the total occupancy load of the space as determined by the Fire Department?

Once the commercial spaces have been allocated to tenancy, the occupancy load of all establishments will be determined in accordance with applicable requirements. The off-site sales will not be affected by occupancy load; as such sales would take place within the dedicated commercial space for the specialty market.

D. What is the total number of seats that will be provided indoors? Outdoors?

Tenants for specific establishments have not yet committed to lease spaces and therefore it is unknown at this time how many indoor and outdoor seats will be provided. The outdoor area for each use will be shown in the plans for each commercial space where applicable.

E. If there is an outdoor area, is it on private property or the public right-of-way or both?

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

The outdoor area could be located both on private and public property. This would be determined at the Plan Approval stage.

F. If an outdoor area is on the public right-of-way, has a revocable permit been obtained?

One or more restaurants may require a revocable permit for any outdoor dining areas on the public right-of-way. This would be determined at the Plan Approval stage for each use.

G. Are you adding floor area? If yes, how much is enclosed? Outdoors?

No

H. Parking

I. How many parking spaces are available on the site?

The Project is required to provide 316 residential parking spaces for Building I and 338 residential spaces for Building II. The adaptive reuse will have 42 spaces. The Applicant proposes to provide 55 parking spaces for the commercial uses, including the retail spaces, grocery and restaurants. The excess parking spaces are to be provided as an amenity to serve surrounding uses. A total of 773 spaces will be provided.

II. Are they shared or designated for the subject use?

All parking spaces are designated for the Project uses.

III. If you are adding floor area, what is the parking requirement as determined by the Department of Building & Safety?

No additional floor area is proposed.

IV. Have any arrangements been made to provide parking off-site?

No, all parking is to be provided on-site within the parking garage pursuant to the Project design. The Project is providing more parking than required by the Los Angeles Municipal Code standards and parking demand is not anticipated to exceed the supply.

1. If yes, is the parking secured via a private lease or a covenant/affidavit approved by the Department of Building & Safety?

Not applicable.

2. Please provide a map showing the location of the off-site parking and the distance, in feet, for pedestrian travel between the parking area and the use it is to serve.

Not applicable.

3. Will valet service be available? Will the service be for a charge?

To be determined – the individual restaurant operators may offer valet service likely for a charge.

I. Is the site within 1,000 feet of any schools (public, private or nursery schools), churches or parks?

There appears to be three schools within approximately 1,000 feet of the Project site:

Evelyn T. Gratis Early Education Center, 1415 5th Street, 200 feet

Middle School, 1500 Wilshire, 1,000 feet

Michael Contreras Learning Center 322 Lucas Street, 1000 feet

5. QUESTIONS REGARDING THE OPERATION OF THE ESTABLISHMENT

a. What are the proposed hours of operation and which days of the week will the establishments be open? What are the proposed hours of alcohol sales?

Since individual tenants are being finalized, the hours of operation are not yet known. Until the hours are known and defined as part of the Plan Approval process, the Applicant is requesting hours from 6 am to 2 am. The ABC limits these hours within which the sale of alcohol is permitted and hours of operation can further be limited within the Plan Approval Process.

b. Will there be entertainment such as a piano bar, dancing, live entertainment, movies, karaoke, video game machines, etc.? Please specify.

(An establishment that allows for dancing needs a conditional use pursuant to 12.24 W. 18.)

No piano bar, dancing or live entertainment, movies, karaoke, video game machines, etc. are currently planned for the commercial tenant spaces at the Project.

c. Will there be a minimum age requirement for entry? If yes, what is the minimum age requirement and how will it be enforced?

Operations of such establishments will be in accordance with the rules and regulations of the ABC. Operators of establishments that impose age restrictions will be required to verify the age and identity of patrons when necessary.

d. Will there be any accessory retail uses on the site? What will be sold?

The Project has approval for up to a maximum 39,996 square feet for all commercial uses. However, it is anticipated that there will be up to four (4) restaurant spaces located in 8,499 square feet of floor area for a full line or beer and wine on/off site, while 16,500 square feet of floor area will be set aside in a specialty market for sales of off-site alcoholic beverages. Since the retail tenants have yet to be identified, it is unknown the exact commercial uses that will be offered.

e. Security

I. How many employees will you have on site at any given time?

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

Since all restaurants and retail leaseholders have not yet been finalized, the total number of employees is unknown at this time but will be provided at the Plan Approval stage.

II. Will security guards be provided on-site?

No, the Applicant does not currently intend to provide security guards for the facility. If at the time of Plan Approval it is anticipated that security guards are necessary for a proposed use then the responsibility to provide such security guards shall fall upon that use.

1. If yes, how many and when?

Not applicable.

III. Has LAPD issued any citations or violations?

No. As the Project is not yet occupied, LAPD has not issued any citations or violations related to the service and sales of alcohol for this development.

f. Alcohol

I. Will there be beer & wine only, or a full-line of alcoholic beverages?

The Applicant is requesting a Master CUB for the on/off-site sales for a full line of alcoholic beverages with the option of beer and wine for any of the individual restaurants or the specialty market. Some tenants may choose only to sell beer and wine depending on the ABC type of license.

II. Will “fortified” wine (greater than 16% alcohol) be sold?

It is possible that a restaurant or the market may wish to serve “fortified” wine or Sake, however since specific tenants have not committed to lease space, this information is not yet available.

III. Will alcohol be allowed to be consumed on any adjacent property under the control of the applicant?

No.

IV. Will there be signs visible from the exterior that advertise the availability of alcohol?

No. It is anticipated that signage for such establishments will be coordinated and will generally consist of business identification signs which could include language referring to the sale of alcohol (e.g. “Bar and Grill”, “Lounge”, “Wine Shop”). Because all specific tenants have not yet finalized lease space, signage requirements have not yet been fully determined.

V. Food

i. Will there be a kitchen on the site?

All restaurant establishments are anticipated to have kitchen facilities.

ii. Will alcohol be sold without a food order?

It is anticipated that some facilities will offer the sale of alcoholic beverages without a food order such as in the urban specialty market;

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

however, all restaurant establishments are anticipated to be bone-fide restaurants with kitchen facilities.

iii. Will the sale of alcohol exceed the sale of food items on a quarterly basis?

It is anticipated that gross sales of food items at such establishments (for both on-site and off-site alcohol sales) will exceed the gross sale of alcohol on a quarterly basis.

iv. Provide a copy of the menu if food is to be served.

Menus will be provided to the Office of Zoning Administrator prior to obtaining building permits for all food and restaurant establishments.

J. On-Site

i. Will a bar or cocktail lounge be maintained incidental to a restaurant?

It's possible that a bar or cocktail lounge will be maintained incidental to a restaurant, however since specific tenants have not committed to lease space, this information is not yet available.

If yes, the floor plans must show the details of the cocktail lounge and the separation between the dining and lounge facilities.

Restaurant tenants will provide floor plans detailing the cocktail lounge and separation between the dining and lounge facilities during their individual Plan Approval process.

ii. Will off-site sales of alcohol be provided accessory to on-site sales ("Take-Out")?

Yes, the Applicant requests limited off-site sales in conjunction with on-site sales consumption within the commercial space of the Project.

If yes, a request for off-site sales of alcohol is required as well.

This application is for on-site and off-site sales.

iii. Will discounted alcoholic drinks ("Happy Hour") be offered at any time?

Because all of the specific tenants have not yet finally committed to lease spaces, operations of such facilities cannot yet be determined.

5. CALDERA BILL

a. Is this application a request for on-site or off-site sales of alcoholic beverages?

A Master CUB for on-site and off-site sales of a full line of alcoholic beverages is requested with this application for the commercial spaces on the Project.

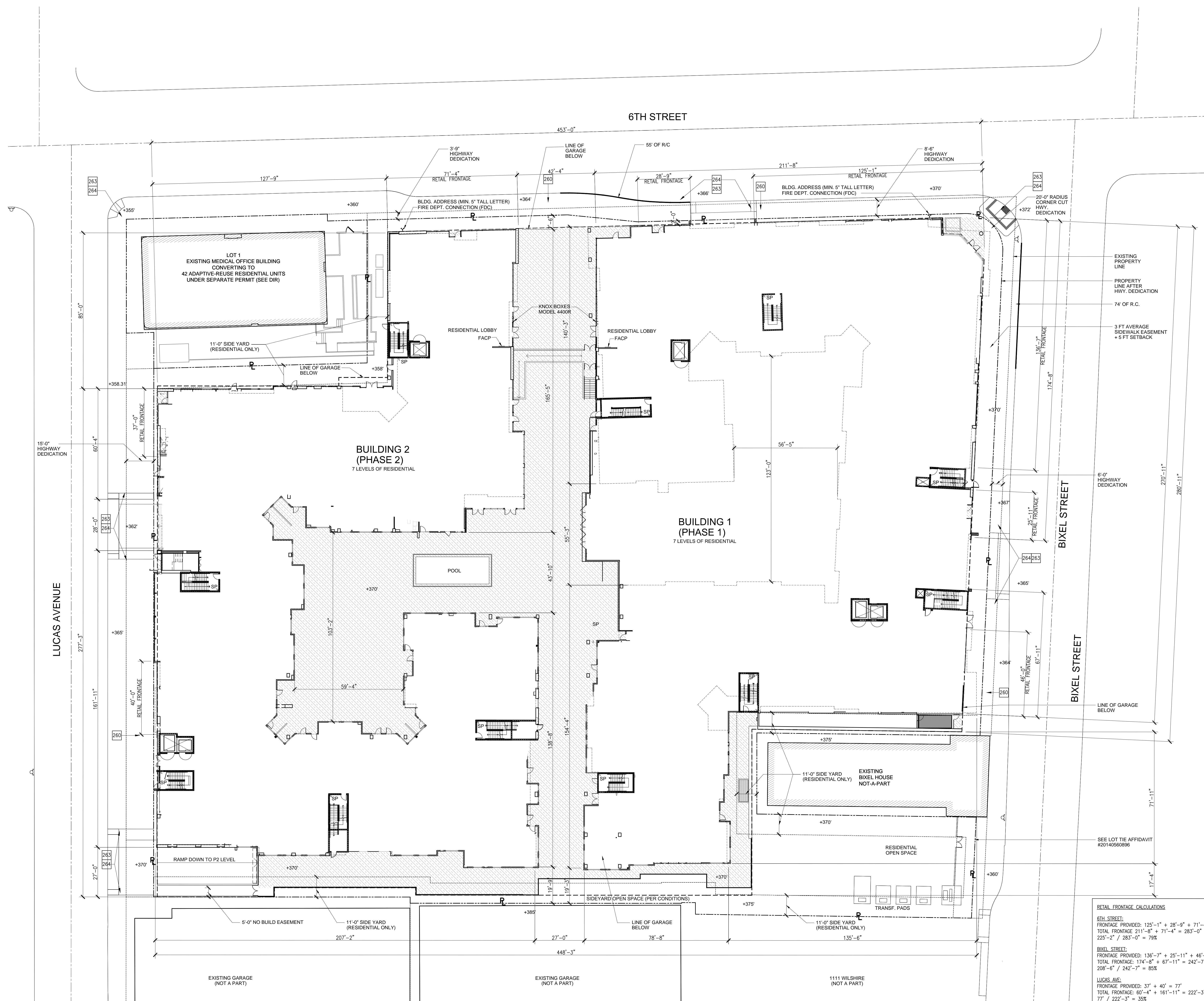
1. If yes, is the establishment a bona-fide eating place (restaurant) or hotel/motel?

MASTER CONDITIONAL USE – ALCOHOL FINDINGS

Yes. It is anticipated that on-site beer and wine permits or a full line will be associated with the four restaurant type establishments. The off-site alcohol sale permit is to be associated with the proposed grocery store, however since specific tenants are unknown at this time, this information will be provided during each individual tenant's Plan Approval process.

- b. If ABC has determined that an eligible use is in an area of high crime or undue concentration of licenses, the City Council will need to make the finding that the issuance of the license is required for public convenience or necessity.**

According to the State legislation (Caldera Bill, Business and Professions Code §§23958 and 23958.4), applications filed for new on- or off-site alcoholic beverage sales authorizations require a City Council determination, with the exception of "restaurant or hotel/motel use." According to information obtained from the ABC website for Census Tract No. 2092.00, the Project Site is located in an area of overconcentration of licenses. The preponderance of the requested alcoholic licenses is for restaurant establishments, which are exempted from the Caldera Bill. However, the City Council will need to make the Caldera findings that the issuance of the license for the off-site sales in the specialty market is required for public convenience or necessity.



RETAIL FRONTAGE CALCULATIONS

6TH STREET:
 FRONTAGE PROVIDED: 125'-1" + 28'-9" + 71'-4" = 225'-2"
 TOTAL FRONTAGE: 211'-8" + 71'-4" = 283'-0"
 225'-2" / 283'-0" = 79%

BIXEL STREET:
 FRONTAGE PROVIDED: 136'-7" + 25'-11" + 46'-0" = 208'-6"
 TOTAL FRONTAGE: 174'-8" + 67'-11" = 242'-7"
 208'-6" / 242'-7" = 85%

LUCAS AVE:
 FRONTAGE PROVIDED: 37' + 40' = 77'
 TOTAL FRONTAGE: 60'-4" + 161'-11" = 222'-3"
 77' / 222'-3" = 35%

BUILDING CODE SUMMARY

USE & OCCUPANCY CLASSIFICATION		
LEVEL	BLDG 2 292,176 SF	BLDG 1 293,739 SF
ROOF	OCCUPIABLE DECKS R2 - 2,316 SF	OCCUPIABLE DECKS R2 - 3,272 SF POOL BATHROOMS R2 - 200 SF
7	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 38,511 SF CIRCULATION, R2 - 4,441 SF
6	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 39,550 SF CIRCULATION, R2 - 4,441 SF
5	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 39,550 SF CIRCULATION, R2 - 4,441 SF
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3	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 39,550 SF CIRCULATION, R2 - 4,441 SF
2	RESIDENTIAL, R2 - 37,250 SF CIRCULATION, R2 - 3,684 SF	RESIDENTIAL, R2 - 37,863 SF CLUB ROOM, A3 - 2,652 SF CIRCULATION, R2 - 4,498 SF
1	RETAIL, M - 5,103 SF RESIDENTIAL, R2 - 28,428 SF EXERCISE RM, B - 1,000 SF CLUB ROOM, A3 - 1,425 SF CIRCULATION, R2 - 3,985 SF	RETAIL, M - 21,169 SF RESIDENTIAL, R2 - 6,234 SF LEASING, B - 1,767 SF EXERCISE RM, A3 - 3,300 SF CIRCULATION, R2 - 2,118 SF
P1	LEASING, B - 3,457 SF MAILROOM, R2 - 1,057 SF BATHROOMS, R2 - 130 SF CIRCULATION, R2 - 926 SF	
P2	MAINT./STORAGE, S2 - 2,365 SF PARKING, S2 - 81,821 SF	
P3	PARKING, S2 - 133,607 SF	

OPEN SPACE ANALYSIS

TOTAL OPEN SPACE REQUIRED PER ENTITLEMENT (4.32% REDUCTION)	63,630 SF
* TOTAL REQUIRED COMMON OPEN SPACE PER ENTITLEMENT	48,480 SF
OPEN SPACE PROVIDED	
GROUND LEVEL COURTYARD + 6TH STREET PLAZA	20,532 SF
SECOND LEVEL COURTYARD	9,919 SF
LOT 94	2,935 SF
BLDG 1 EXERCISE ROOM	3,451 SF
BLDG 1 CLUB ROOM	2,719 SF
BLDG 2 CLUB ROOM	1,451 SF
BLDG 2 YOGA ROOM	1,062 SF
50% OF SIDE YARD	1,404 SF
BLDG 1 ROOF DECK	12,045 SF
BLDG 2 ROOF DECK	10,110 SF
TOTAL OPEN SPACE PROVIDED	65,628 SF
* TOTAL REQUIRED COMMON OPEN SPACE BY CCW = TOTAL UNITS X 100SF X 80%	

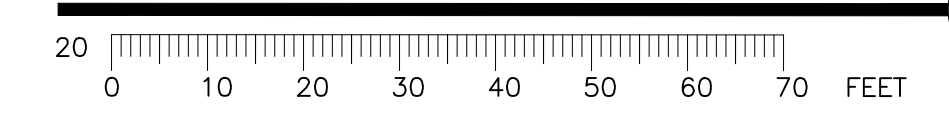
ZONING REQUIREMENTS
PER DIR-2008-3407-SPP-SPPA-08-1A

DENSITY	ALLOWABLE DENSITY	606 UNITS PER ENTITLEMENT
DENSITY PROVIDED	606 UNITS	
ALLOWABLE F.A.R.	591,629 SF PER ENTITLEMENT	
F.A.R. PROVIDED	591,629 SF	
ALLOWABLE HEIGHT	1,218' FROM MEAN SEA LEVEL	
BUILDING HEIGHT	HEIGHT PROVIDED	SEE SHEETS A221, A222
FRONT YARD - ALL USES	REQUIRED FRONT YARD	0'-0"
PROVIDED FRONT YARD	PROVIDED FRONT YARD	0'-0"
REQUIRED SIDE YARD	COMMERCIAL USES: NONE RESIDENTIAL USES: 5'-0" + 1'-0" FOR EVERY FLOOR ABOVE 2ND = 11'-0"	
PROVIDED SIDE YARD	PROVIDED SIDE YARD	VARIES: 11'-0" TO 19'-0"
REAR YARD - ALL USES	NO REAR YARD DUE TO THROUGH LOT CONDITION	

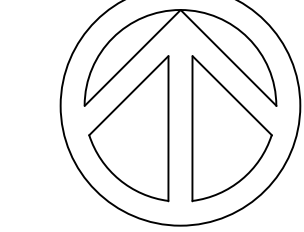
ZONING CODE ANALYSIS

LOT SIZE	175,967 SF (4.04 ACRES BEFORE DEDICATIONS) 166,003 SF (3.81 ACRES AFTER DEDICATIONS)
DISCRETIONARY ACTION(S)	CASE NO.: DIR-2008-3407-SPP-SPPA-08-1A APPROVED WITH CONDITIONS ON JUL. 19, 2013
STREET DEDICATION	6'-0" DEDICATION ON BIXEL STREET 8'-6" AND 3'-9" DEDICATIONS ON 6TH STREET 15'-0" DEDICATION ON LUCAS AVENUE

Plot Plan



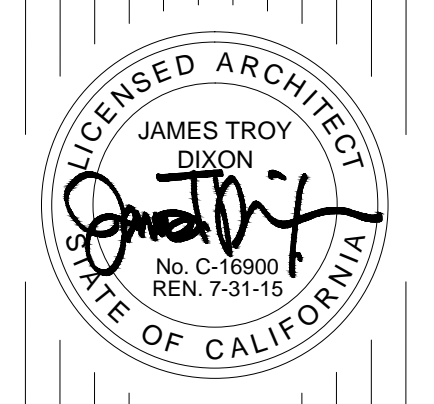
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Printed/ Revised
 11.20.2013 30% Zoning Submittal
 08.29.2013 30% Zoning Submittal
 08.29.2013 Foundation-Plus Permit Set
 09.19.2014 Foundation-Plus Construction Process Set
 11.11.2014 Retail Revision Foundation-Plus Permit Set
 03.19.2015 Foundation-Plus For Construction Set
 05.11.2015 Progress Construction Set

Plot Plan

Sixth & Bixel
 1120 W. 6th Street, Suite 1007
 1120 W. 6th Street (Building 1)
 1122 W. 6th Street (Building 2)

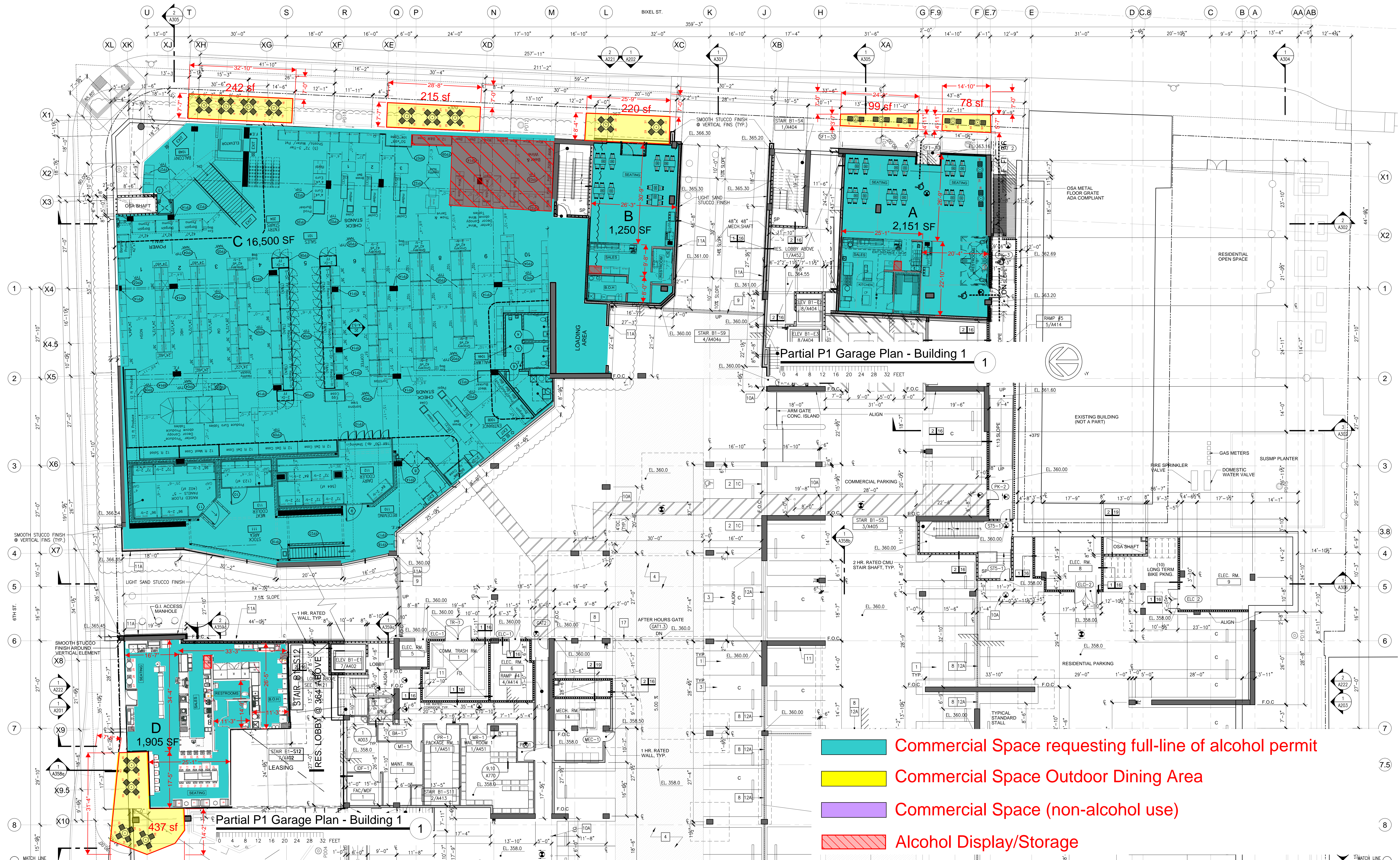


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Job No.: 2012438
 Date: 03/02/2015
 Scale: 1/20"=1'-0"

Sheet No.: **G101**

Phase 1, Permit 3
 Phase 2, Permit 4



- Commercial Space requesting full-line of alcohol permit
- Commercial Space Outdoor Dining Area
- Commercial Space (non-alcohol use)
- Alcohol Display/Storage

- 5 ALL FLOOR LEVEL MECHANICAL LOUVERS SHALL SET ON 6" MIN. HIGH CONCRETE CURB (TYP.)
- 6 DOUBLE STRIPING OF STALLS SHALL BE PER ZONING CODE SECTION 12.2145, CHART NO. 5
- 7 ALL GARAGE LEVELS TO BE MECHANICALLY VENTED (TYP.)
- 8 PROVIDE CLASS 1 STANDPIPES AT EVERY STAIRS ON INTERMEDIATE FLOOR LANDINGS (TYP.), UNLESS OTHERWISE APPROVED BY THE FIRE CODE OFFICIAL
- 9 PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2-A OR 2-A10GC WITHIN 75 FEET TRAVEL DISTANCE TO ALL PORTIONS OF THE BUILDING ON EACH FLOOR, ALSO DURING CONSTRUCTION.
- 10 ENHANCED EXITING SYSTEM - ALL STORIES ABOVE THE FIRST TYPE IA STORY WILL BE PROVIDED WITH EXIT STAIRS THAT HAVE AN AGGREGATE WIDTH THAT IS AT LEAST 20 PERCENT WIDER THAN THE MINIMUM CODE REQUIRED. EXIT STAIR WIDTH (i.e., 0.30 INCHES PER OCCUPANT USING THE STAIRS OR 44 INCHES WHICHEVER IS GREATER). SEE DOUBLE PODIUM MODIFICATION
- 11 MIN. 10" INCREASE FOR WALL OBSTRUCTION IN PARKING STALLS

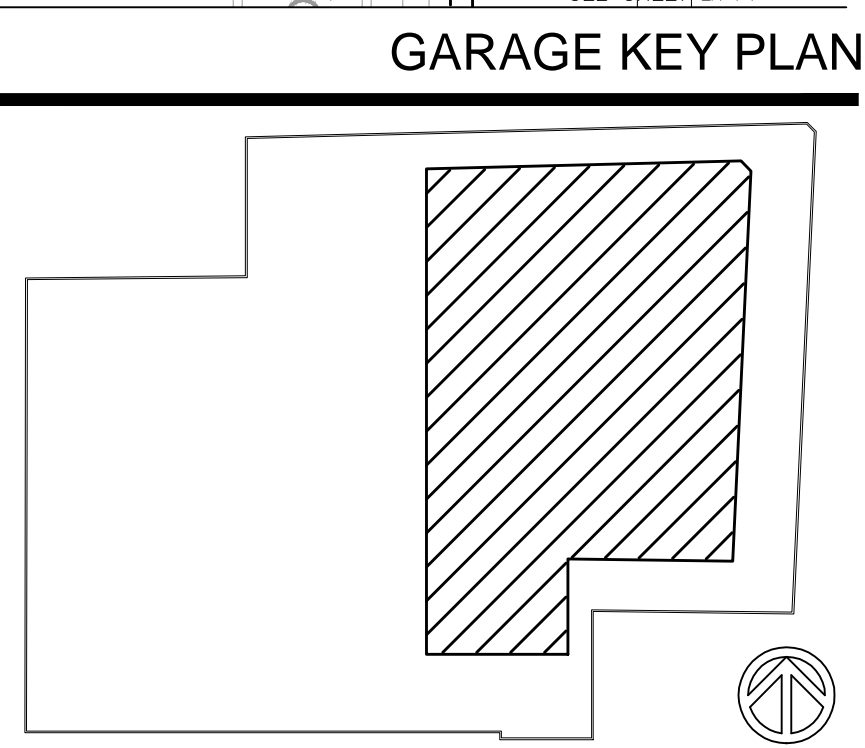
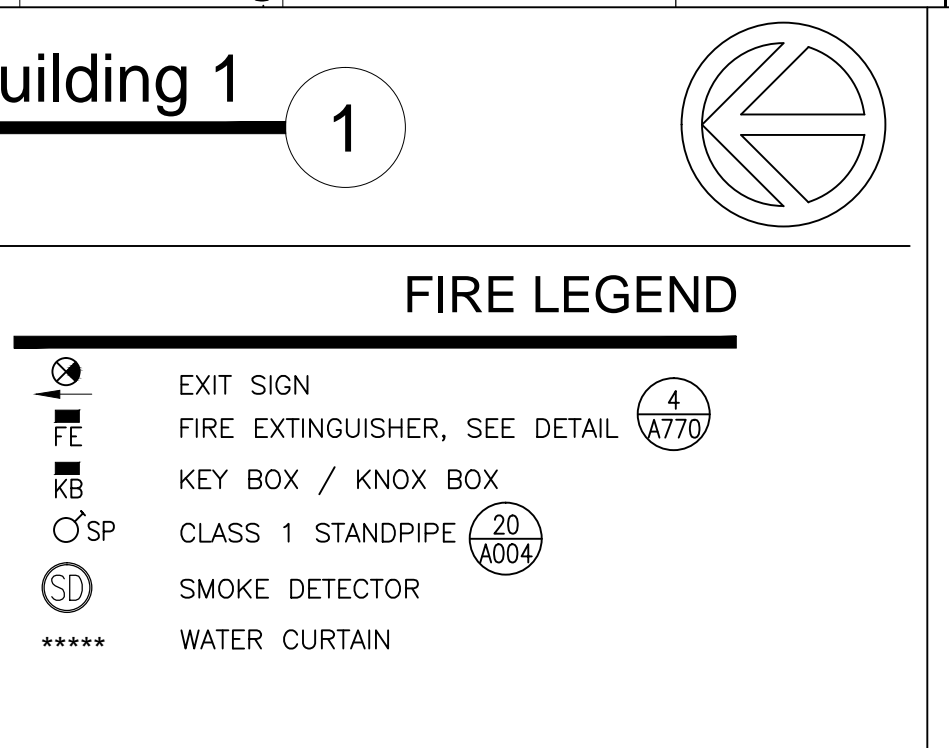
- GENERAL NOTES (GARAGE)**
- 1 WHEN ACCESS FOR DISABLED VEHICLES IS REQUIRED, A MINIMUM UNRESTRICTED HEADROOM CLEARANCE OF 8'-4" ABOVE FINISH FLOOR IS TO BE PROVIDED, INCLUDING ANY CEILING, BEAMS, PIPES, OR SIMILAR OBSTRUCTIONS.
 - 2 FOR BELOW GRADE WATERPROOFING DETAILS, SEE A702 & A703
 - 3 ALL CONSTRUCTION IN TYPE I GARAGE & COMMERCIAL TO BE NON-COMBUSTIBLE. SEE A725 FOR NON-BEARING METAL STUD WALL AND CMU WALL DETAILS. SEE A730 FOR CONCRETE SLABS DETAILS.
 - 4 GRADES ARE TO STRUCTURAL SLAB AND ARE NOT THE FINISH GRADES. SEE CIVIL DRAWINGS FOR FINISH GRADES.

- 15 BACKFLOW PREVENTER & PRESSURE REDUCING VALVE. SEE PLUMB. DWGS.
- 16 GREASE INTERCEPTOR. SEE PLUMB. DWGS
- 17 OVERHEAD COILING SECURITY GATE (8'-4" MIN. CLEAR HEIGHT) SEE DETAIL 18/A701
- 18 EJECTOR BASIN/SUMP PUMP PER PLUMBING DWGS

- KEYNOTES #**
- GARAGE PLAN NOTES:
- 1 STANDARD STALL. DETAIL 14/A701
 - 1A DESIGNATED PREFERRED STALL. DETAIL 18/A701
 - 1B PROVIDE 208/240 V 40 AMP GROUNDED AC OUTLET(S) FOR EV CHARGING STATIONS. SEE ELEC. DWGS
 - 1C PROVIDE CONDUITS FOR FUTURE EV CHARGING STATIONS
 - 2 ACCESSIBLE STALL. DETAIL 1/G103
 - 3 COMPACT STALL DETAIL 2/A701
 - 4 HATCHED AREA IS PATH OF TRAVEL FOR ACCESSIBLE VEHICLES. MAINTAIN 8'-4" MIN. CLEAR HEIGHT TO ANY OBST. SEE DETAIL 10/A701
 - 5 8'-2" AFF HEADACHE BAR. SEE DETAIL 10/A701
 - 6 7'-0" AFF HEADACHE BAR. SEE DETAIL 10/A701
 - 7 STEEL CABLE RAIL. SEE DETAIL 1 THRU 5/A701
 - 8 SECURITY FENCE. SEE DETAIL 15/A701

- WALL TYPES**
- | | |
|-----|---|
| 112 | 1-HOUR FIRE-RATED EXTERIOR WALL |
| 114 | 1-HOUR FIRE-RATED UNIT CORRIDOR WALL |
| 115 | 1-HOUR FIRE-RATED UNIT SEPARATION WALL, STC 50 MIN. |
| 117 | 1-HOUR FIRE-RATED UNIT SEPARATION WALL W/PLUMBING |
| 118 | 1-HOUR FIRE-RATED PLUMBING WALL AT CORRIDOR |
| 120 | FIRE-RATED INTERIOR WALL |
| 112 | 1-HOUR PLUMBING WALL |
| 113 | 2-HOUR FIRE-RATED EXTERIOR WALL |
| 114 | 2-HOUR FIRE-RATED INTERIOR WALL |
| 115 | 2-HOUR FIRE-RATED UNIT SEPARATION WALL W/ PLUMBING |
| 116 | CMU OR CONCRETE WALL |
| 119 | 2-HOUR FIRE-RATED SHAFT WALL |
| 120 | 1-HOUR FIRE-RATED VENT WALL |

- FIRE LEGEND**
- | | |
|--|------------------------------------|
| | EXIT SIGN |
| | FIRE EXTINGUISHER, SEE DETAIL A770 |
| | FIRE BOX / KNOX BOX |
| | KEY BOX |
| | CLASS 1 STANDPIPE (20/A404) |
| | SMOKE DETECTOR |
| | WATER CURTAIN |



Printed / Revised
 11.20.2013 30% Zoning Submittal
 08.29.2013 Foundation Plus Construction Permit Set
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 05.13.2015 Foundation Plus Construction Permit Set
 07.20.2015 Detail 1 (HCO Field Bulletin #10)
 03.07.2016 Retail Space Revision Permit Set

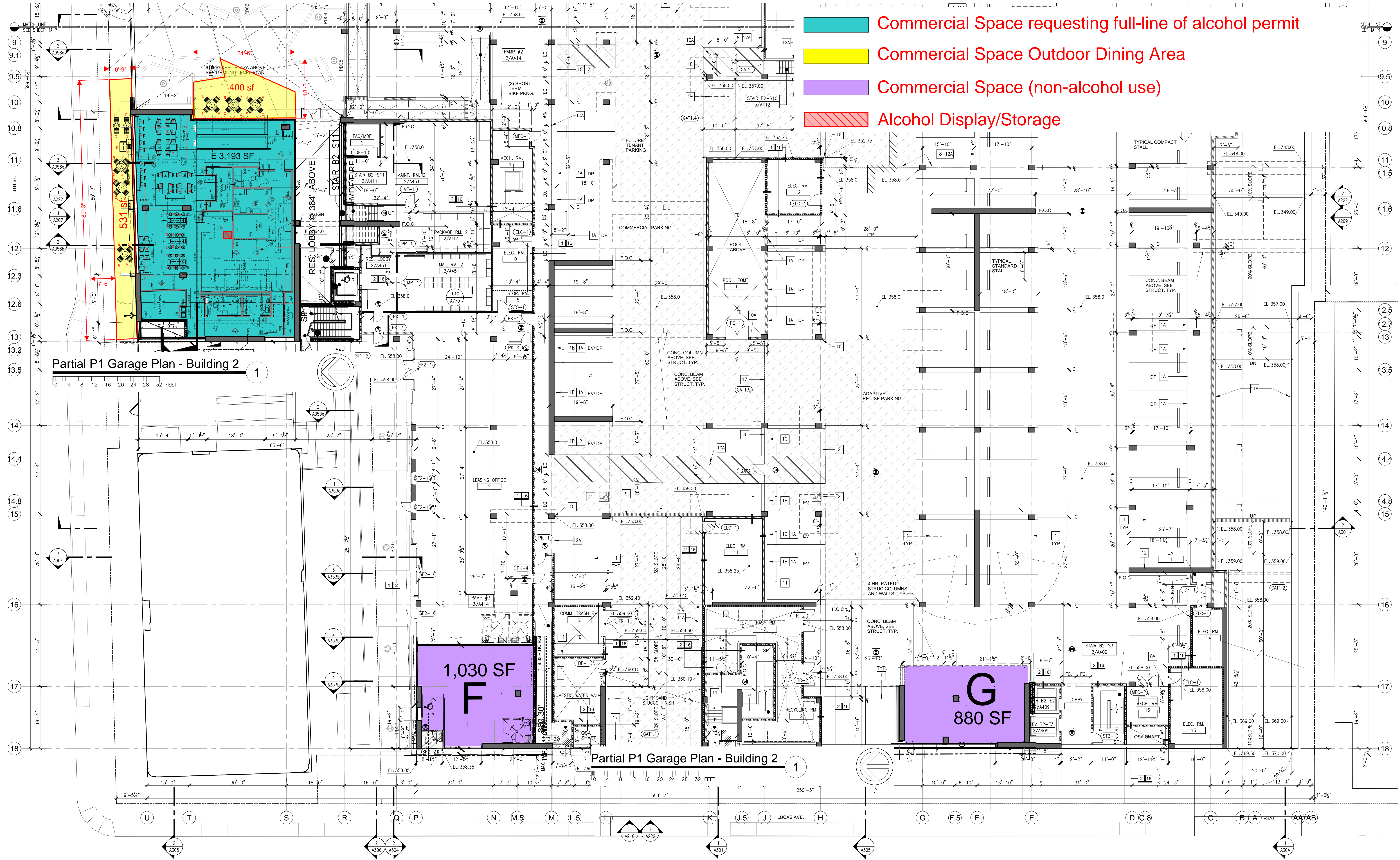
Partial P1 Garage Plan - Building 1

Sixth & Bixel
 1120 W. 6th Street, Suite 1007
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 Scale: 3/32"=1'-0"
 Sheet No.: **1A-P1**



- Commercial Space requesting full-line of alcohol permit
- Commercial Space Outdoor Dining Area
- Commercial Space (non-alcohol use)
- Alcohol Display/Storage

Partial P1 Garage Plan - Building 2

Partial P1 Garage Plan - Building 2

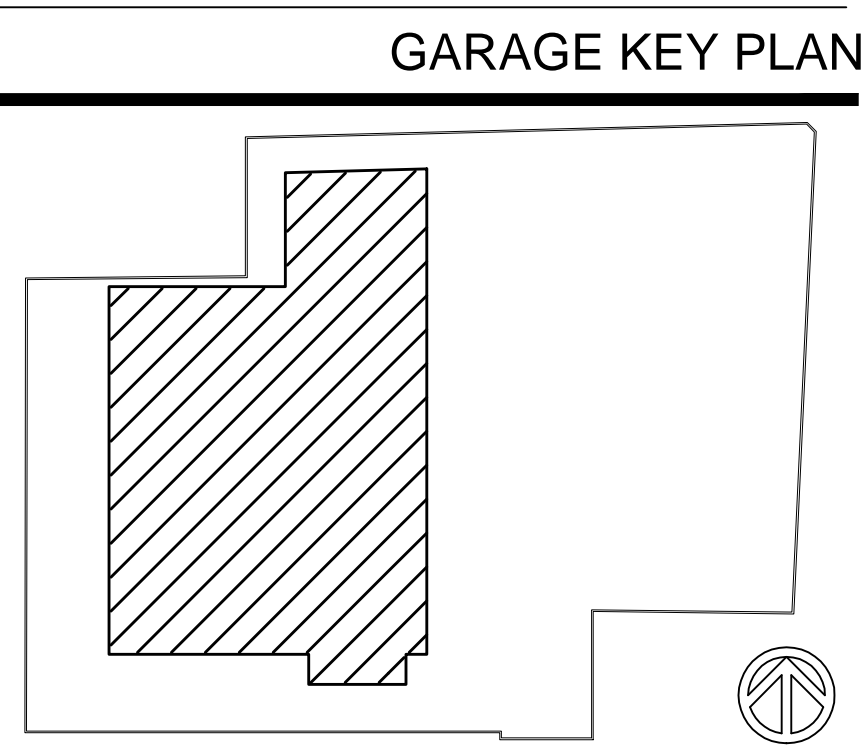
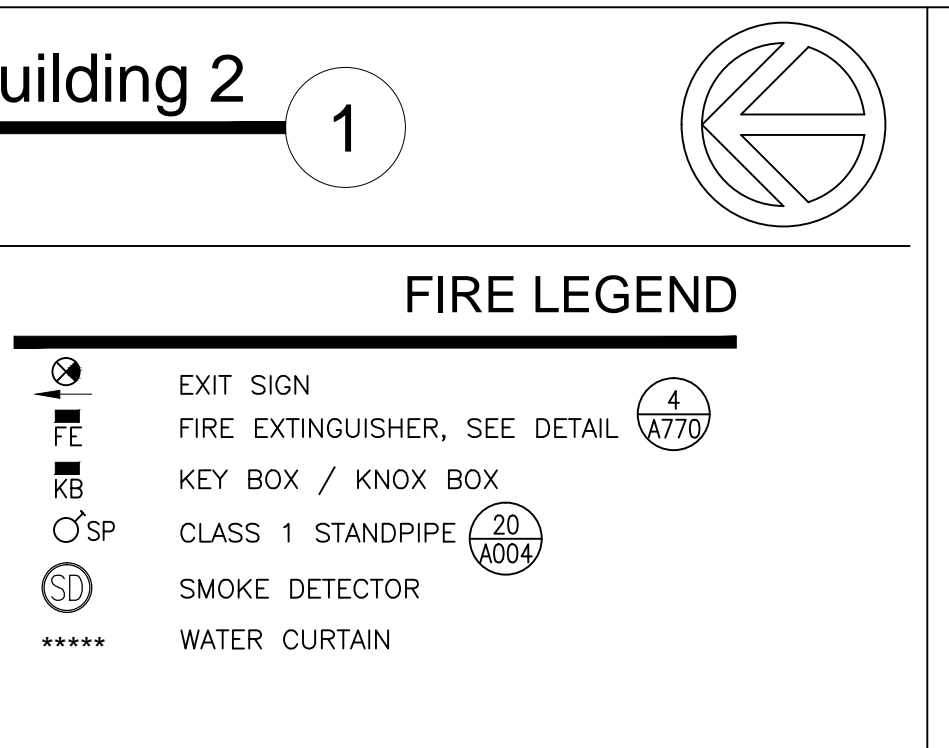
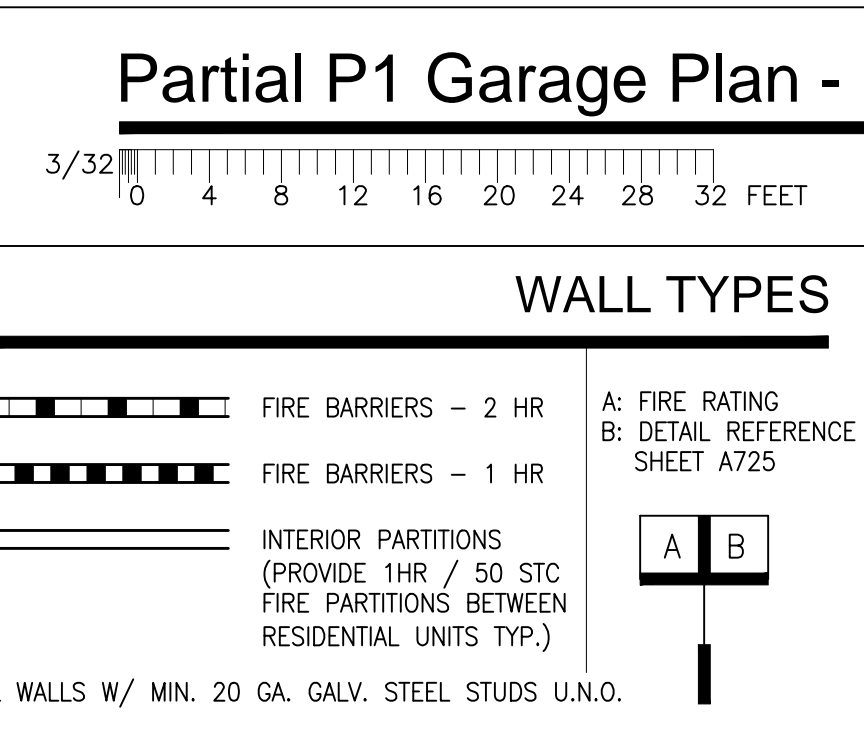
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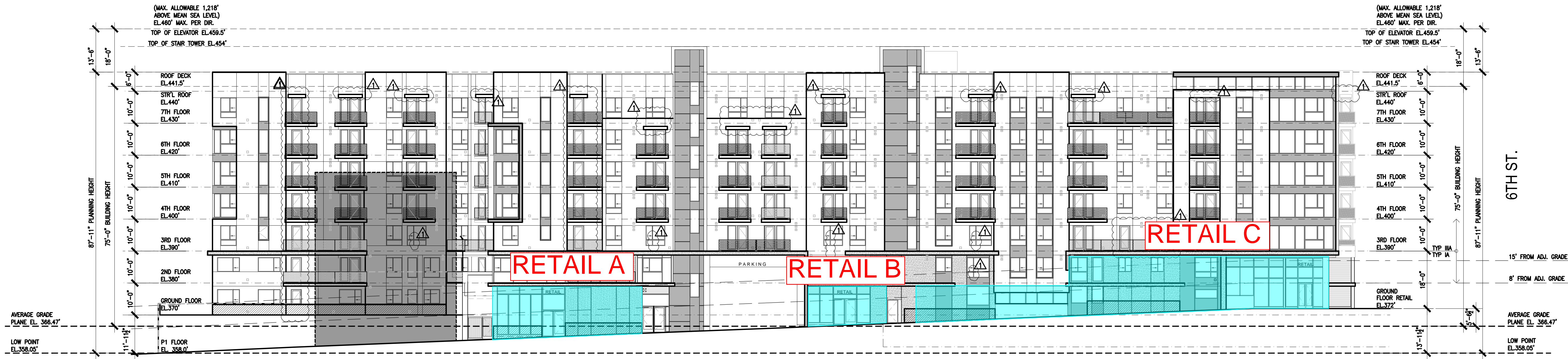
- 8A CHAIN LINK FENCE, SEE DETAIL 20/A701
- 9 TRENCH DRAIN, SEE DETAIL 6/A701
- 10 CORNER GUARD AT OUTSIDE CORNERS OF STRUCTURAL ELEMENTS, ADJ. TO VEHICULAR CIRCULATION. SEE DTL. 8/A701
- 10A METAL BOLLARD, SEE DTL. 4/A701
- 11 TRASH ENCLOSURE CURB, SEE DETAIL 13/A701
- 11A 6" CONCRETE CURB, SEE PLAN WHERE OCCURS, SEE DETAIL 17/A701
- 12 CONCRETE OR CMU WALL, SEE STRUC. DWGS & DTL. 10/A725
- 12A 42" HIGH CMU VEHICLE BARRIER WALL, SEE DTL. 10/S021
- 13 ALUMINUM STOREFRONT DOORS & WINDOWS: SEE A603 AND ELEVATION FOR ADDITIONAL INFORMATION
- 13A NON-ABSORBENT INTERIOR FLOOR (EX. SEALED CONCRETE) AND WALL FINISHES, (EX. PAINTED GYPSUM BOARD) SHALL BE USED WITHIN AT LEAST 2'-0" AROUND AND PERPENDICULAR TO THE EXTERIOR OPENINGS SUBJECT TO FOOT TRAFFIC
- 14 GALVANIZED AIR INTAKE LOUVER (50% MIN. OPEN)

- KEYNOTES #**
- GARAGE PLAN NOTES:
- 1 STANDARD STALL. DETAIL 14/A701
 - 1A DESIGNATED PREFERRED STALL. DETAIL 1B/A701
 - 1B PROVIDE 208/240 V 40 AMP GROUNDED AC OUTLET(S) FOR EV CHARGING STATIONS. SEE ELEC. DWGS
 - 1C PROVIDE CONDUITS FOR FUTURE EV CHARGING STATIONS
 - 2 ACCESSIBLE STALL. DETAIL 1/G103
 - 3 COMPACT STALL DETAIL 2/A701
 - 4 HATCHED AREA IS PATH OF TRAVEL FOR ACCESSIBLE VEHICLES. MAINTAIN 8'-4" MIN. CLEAR HEIGHT TO ANY OBST..
 - 5 8'-4" AFF HEADACHE BAR, SEE DETAIL 10/A701
 - 6 7'-0" AFF HEADACHE BAR, SEE DETAIL 10/A701
 - 7 STEEL CABLE RAIL, SEE DETAIL 1 THRU 5/A701
 - 8 SECURITY FENCE, SEE DETAIL 15/A701

- 12 1-HOUR FIRE-RATED EXTERIOR WALL
- 14 1-HOUR FIRE-RATED UNIT CORRIDOR WALL
- 15 1-HOUR FIRE-RATED UNIT SEPARATION WALL, STC 50 MIN.
- 17 1-HOUR FIRE-RATED UNIT SEPARATION WALL W/PLUMBING
- 18 1-HOUR FIRE-RATED PLUMBING WALL AT CORRIDOR
- 19 1-HOUR FIRE-RATED PLUMBING WALL
- 20 1-HOUR FIRE-RATED INTERIOR WALL
- 21 1-HOUR PLUMBING WALL
- 22 2-HOUR FIRE-RATED EXTERIOR WALL
- 23 2-HOUR FIRE-RATED INTERIOR WALL
- 24 2-HOUR FIRE-RATED UNIT SEPARATION WALL W/ PLUMBING
- 25 2-HOUR FIRE-RATED UNIT SEPARATION WALL W/ PLUMBING
- 26 CMU OR CONCRETE WALL
- 27 2-HOUR FIRE-RATED SHAFT WALL
- 28 1-HOUR FIRE-RATED VENT WALL

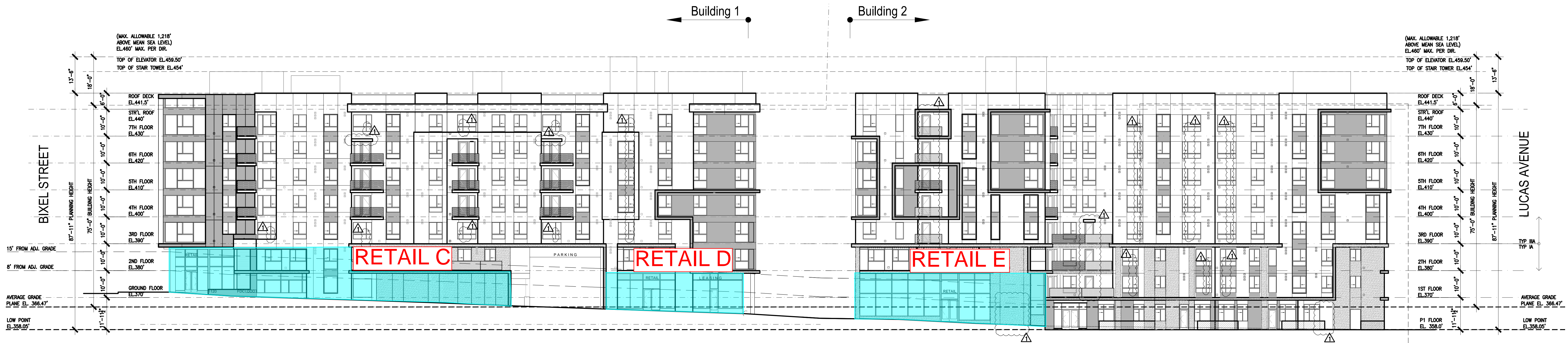


Commercial Space requesting full-line of alcohol permit



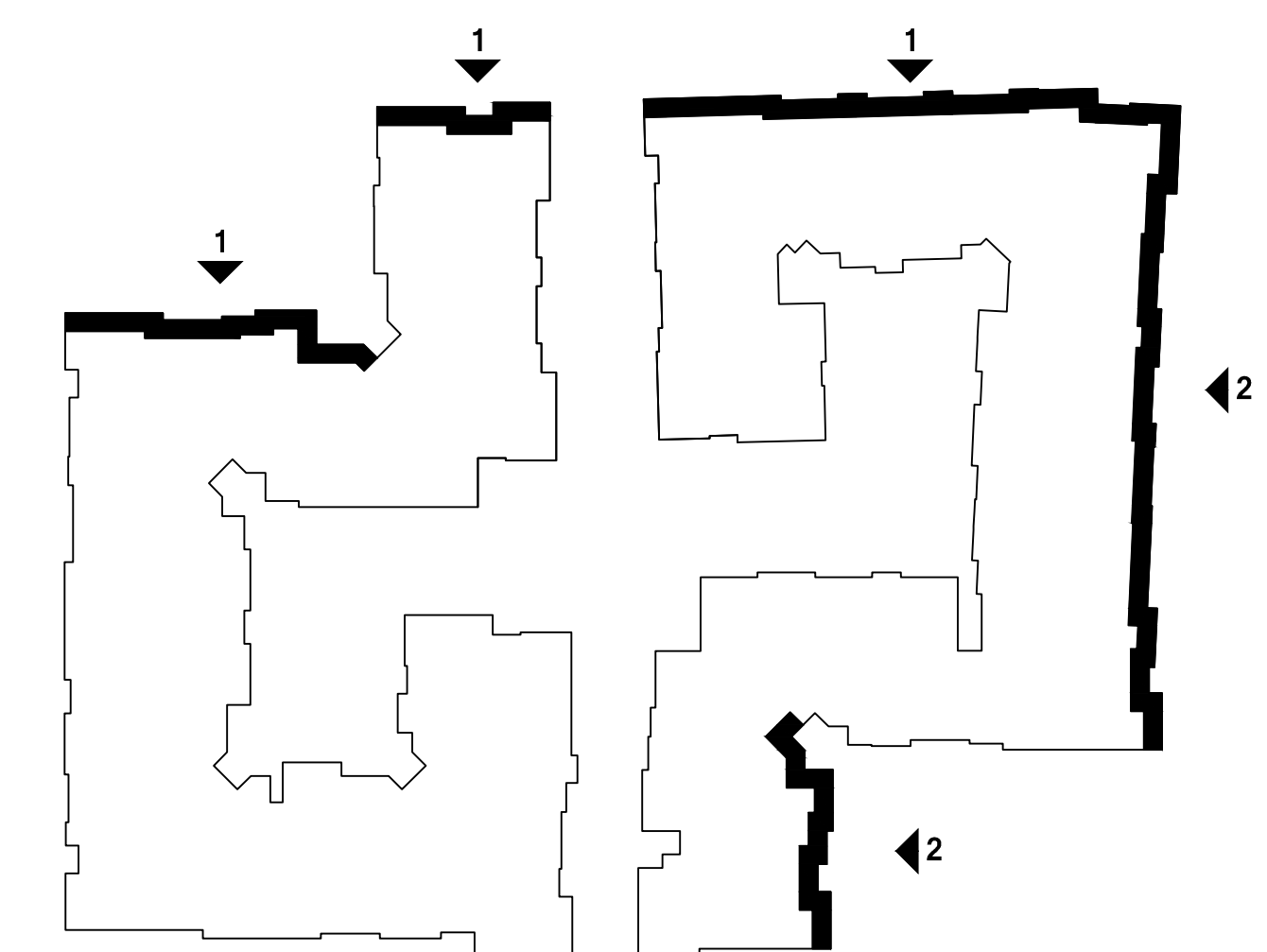
East Elevation - Bixel Street

2



North Elevation - Sixth Street

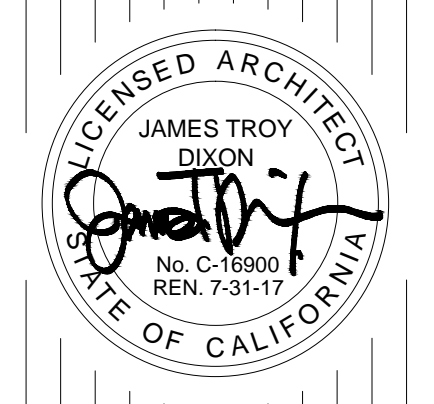
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 07.20.2015 Delta 1 (HCI Field Bulletin #10)

Elevations / Grade Plane Exhibits

Sixth & Bixel
 1120 W. 6th Street
 1120 W. 6th Street (Building 1)
 1122 W. 6th Street (Building 2)



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 Sheet No.:

A221

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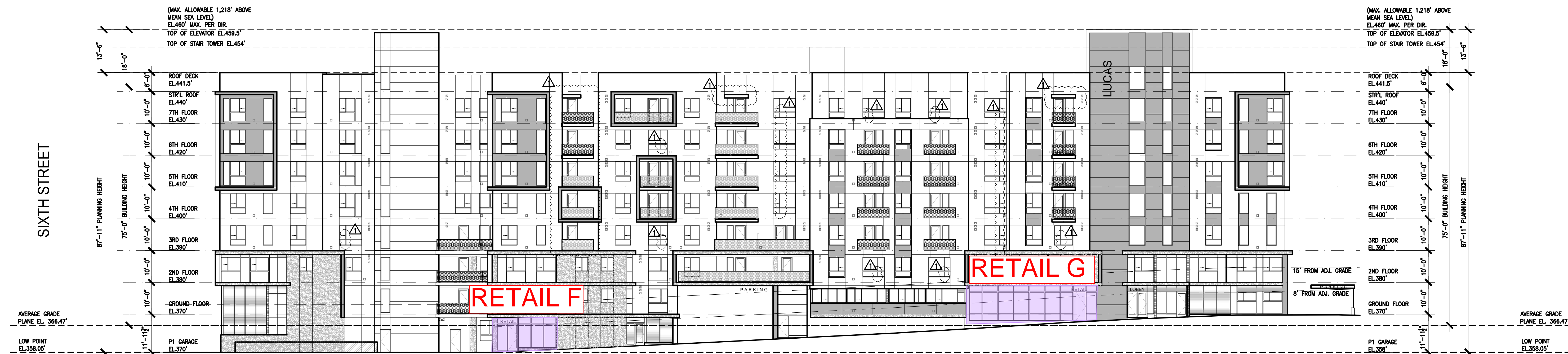
Commercial Space (non-alcohol use)

Building 2 Building 1



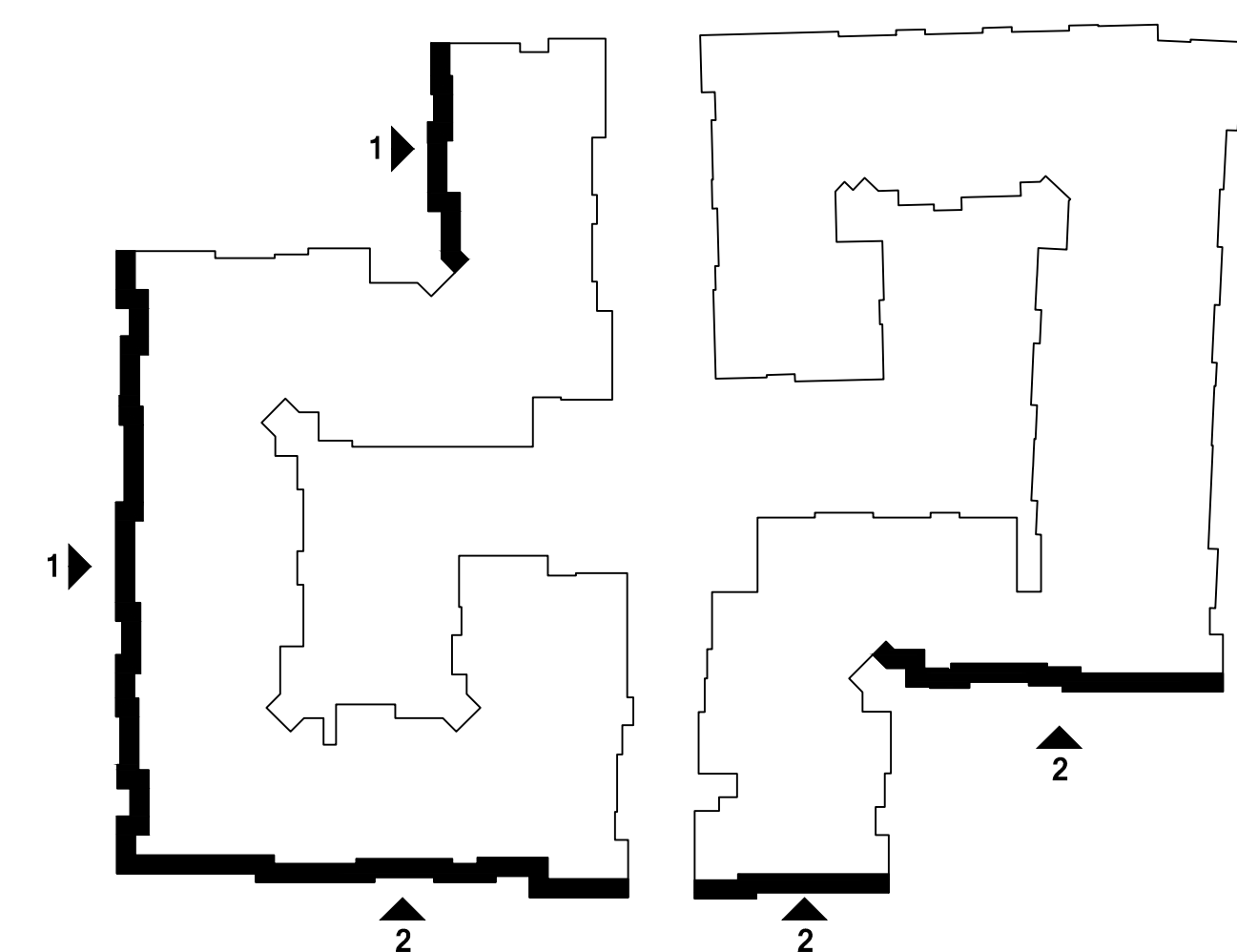
South Elevation

2



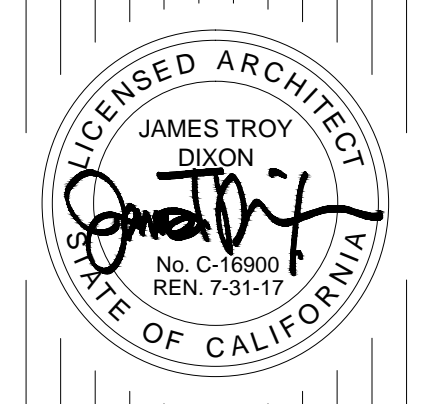
West Elevation - Lucas Street

1



Elevations / Grade Plane Exhibits

Sixth & Bixel



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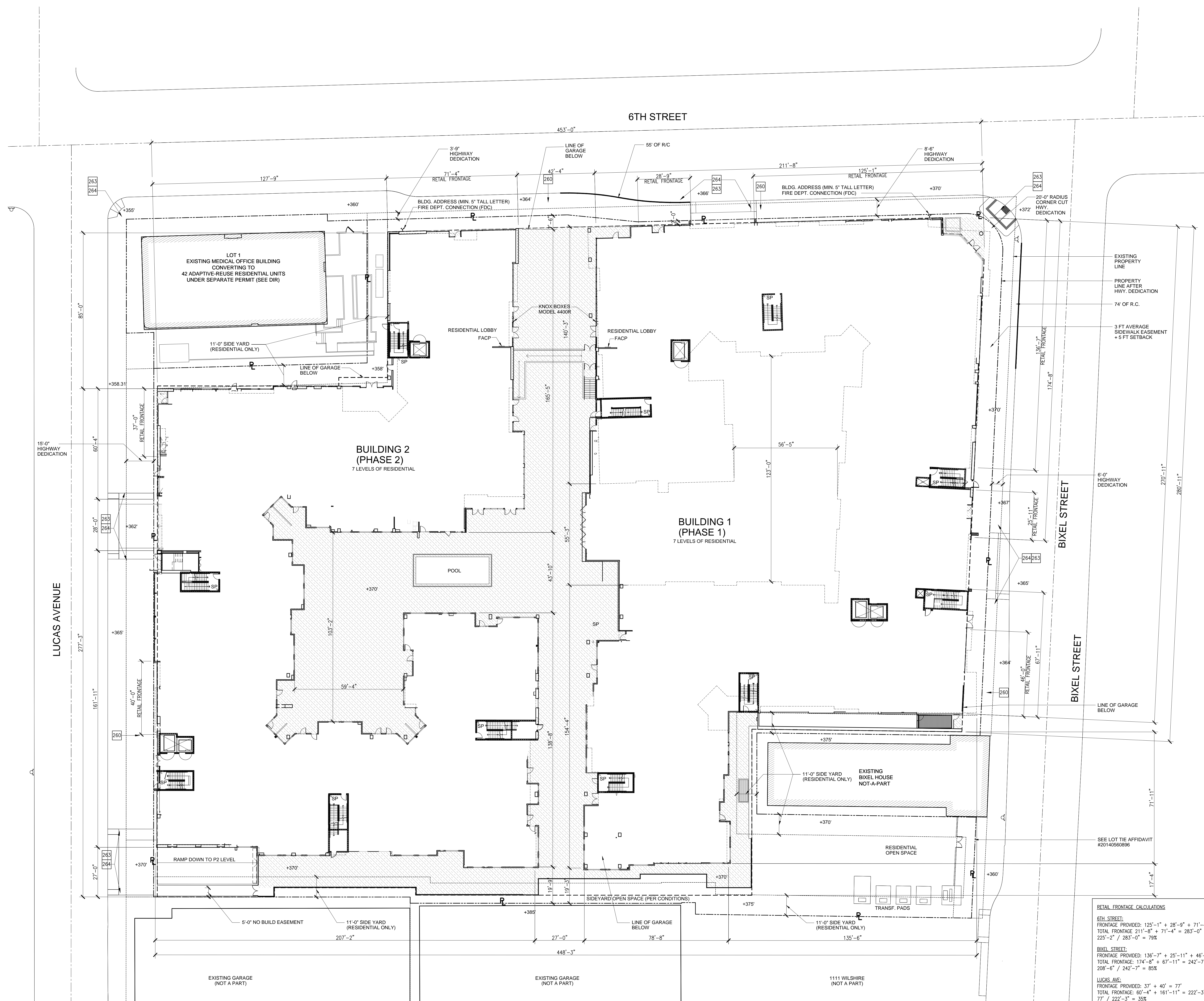
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6B Architectural Delta #1 - HCI Field Bulletin #10 7-20-15



RETAIL FRONTAGE CALCULATIONS

6TH STREET:
 FRONTAGE PROVIDED: 125'-1" + 28'-9" + 71'-4" = 225'-2"
 TOTAL FRONTAGE: 211'-8" + 71'-4" = 283'-0" = 79%
 225'-2" / 283'-0" = 79%

BIXEL STREET:
 FRONTAGE PROVIDED: 136'-7" + 25'-11" + 46'-0" = 208'-6"
 TOTAL FRONTAGE: 174'-8" + 67'-11" = 242'-7"
 208'-6" / 242'-7" = 85%

LUCAS AVE:
 FRONTAGE PROVIDED: 37' + 40' = 77'
 TOTAL FRONTAGE: 60'-4" + 161'-11" = 222'-3"
 77' / 222'-3" = 35%

BUILDING CODE SUMMARY

USE & OCCUPANCY CLASSIFICATION		
LEVEL	BLDG 2 292,176 SF	BLDG 1 293,739 SF
ROOF	OCCUPIABLE DECKS R2 - 2,316 SF	OCCUPIABLE DECKS R2 - 3,272 SF POOL BATHROOMS R2 - 200 SF
7	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 38,511 SF CIRCULATION, R2 - 4,441 SF
6	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 39,550 SF CIRCULATION, R2 - 4,441 SF
5	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 39,550 SF CIRCULATION, R2 - 4,441 SF
4	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 39,550 SF CIRCULATION, R2 - 4,441 SF
3	RESIDENTIAL, R2 - 38,400 SF CIRCULATION, R2 - 3,860 SF	RESIDENTIAL, R2 - 39,550 SF CIRCULATION, R2 - 4,441 SF
2	RESIDENTIAL, R2 - 37,250 SF CIRCULATION, R2 - 3,684 SF	RESIDENTIAL, R2 - 37,863 SF CLUB ROOM, A3 - 2,652 SF CIRCULATION, R2 - 4,498 SF
1	RETAIL, M - 5,103 SF RESIDENTIAL, R2 - 28,428 SF EXERCISE RM, B - 1,000 SF CLUB ROOM, A3 - 1,425 SF CIRCULATION, R2 - 3,985 SF	RETAIL, M - 21,169 SF RESIDENTIAL, R2 - 6,234 SF LEASING, B - 1,767 SF EXERCISE RM, A3 - 3,300 SF CIRCULATION, R2 - 2,118 SF
P1	LEASING, B - 3,457 SF MAILROOM, R2 - 1,057 SF BATHROOMS, R2 - 130 SF CIRCULATION, R2 - 926 SF	
P2	MAINT./STORAGE, S2 - 2,365 SF PARKING, S2 - 81,821 SF	
P3	PARKING, S2 - 133,607 SF	

OPEN SPACE ANALYSIS

TOTAL OPEN SPACE REQUIRED PER ENTITLEMENT (4.32% REDUCTION)	63,630 SF
* TOTAL REQUIRED COMMON OPEN SPACE PER ENTITLEMENT	48,480 SF
OPEN SPACE PROVIDED	
GROUND LEVEL COURTYARD + 6TH STREET PLAZA	20,532 SF
SECOND LEVEL COURTYARD	9,919 SF
LOT 94	2,935 SF
BLDG 1 EXERCISE ROOM	3,451 SF
BLDG 1 CLUB ROOM	2,719 SF
BLDG 2 CLUB ROOM	1,451 SF
BLDG 2 YOGA ROOM	1,062 SF
50% OF SIDE YARD	1,404 SF
BLDG 1 ROOF DECK	12,045 SF
BLDG 2 ROOF DECK	10,110 SF
TOTAL OPEN SPACE PROVIDED	65,628 SF
* TOTAL REQUIRED COMMON OPEN SPACE BY CCW = TOTAL UNITS X 100SF X 80%	

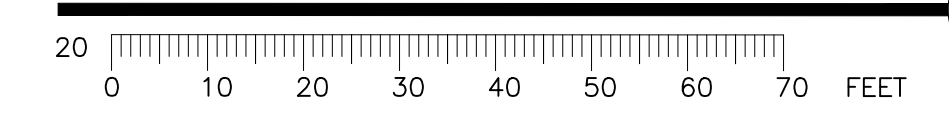
ZONING REQUIREMENTS
PER DIR-2008-3407-SPP-SPPA-08-1A

DENSITY	ALLOWABLE DENSITY	606 UNITS PER ENTITLEMENT
DENSITY PROVIDED	606 UNITS	
ALLOWABLE F.A.R.	591,629 SF PER ENTITLEMENT	
F.A.R. PROVIDED	591,629 SF	
ALLOWABLE HEIGHT	1,218' FROM MEAN SEA LEVEL	
BUILDING HEIGHT	HEIGHT PROVIDED	SEE SHEETS A221, A222
FRONT YARD - ALL USES	REQUIRED FRONT YARD	0'-0"
PROVIDED FRONT YARD	PROVIDED FRONT YARD	0'-0"
REQUIRED SIDE YARD	COMMERCIAL USES: NONE RESIDENTIAL USES: 5'-0" + 1'-0" FOR EVERY FLOOR ABOVE 2ND = 11'-0"	
PROVIDED SIDE YARD	PROVIDED SIDE YARD	VARIES: 11'-0" TO 19'-0"
REAR YARD - ALL USES	NO REAR YARD DUE TO THROUGH LOT CONDITION	

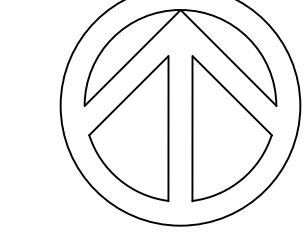
ZONING CODE ANALYSIS

LOT SIZE	175,967 SF (4.04 ACRES BEFORE DEDICATIONS) 166,003 SF (3.81 ACRES AFTER DEDICATIONS)
DISCRETIONARY ACTION(S)	CASE NO.: DIR-2008-3407-SPP-SPPA-08-1A APPROVED WITH CONDITIONS ON JUL. 19, 2013
STREET DEDICATION	6'-0" DEDICATION ON BIXEL STREET 8'-6" AND 3'-9" DEDICATIONS ON 6TH STREET 15'-0" DEDICATION ON LUCAS AVENUE

Plot Plan



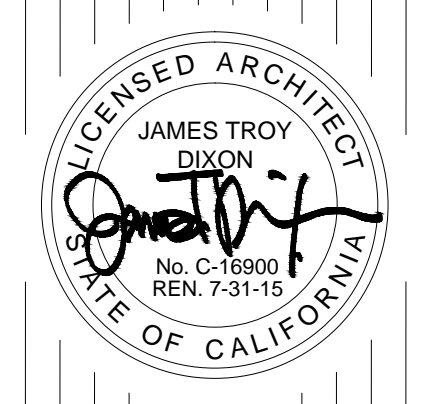
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 05.11.2015 Progress Construction Set

Plot Plan

Sixth & Bixel
 1120 W. 6th Street, Suite 1007
 1120 W. 6th Street (Building 1)
 1122 W. 6th Street (Building 2)



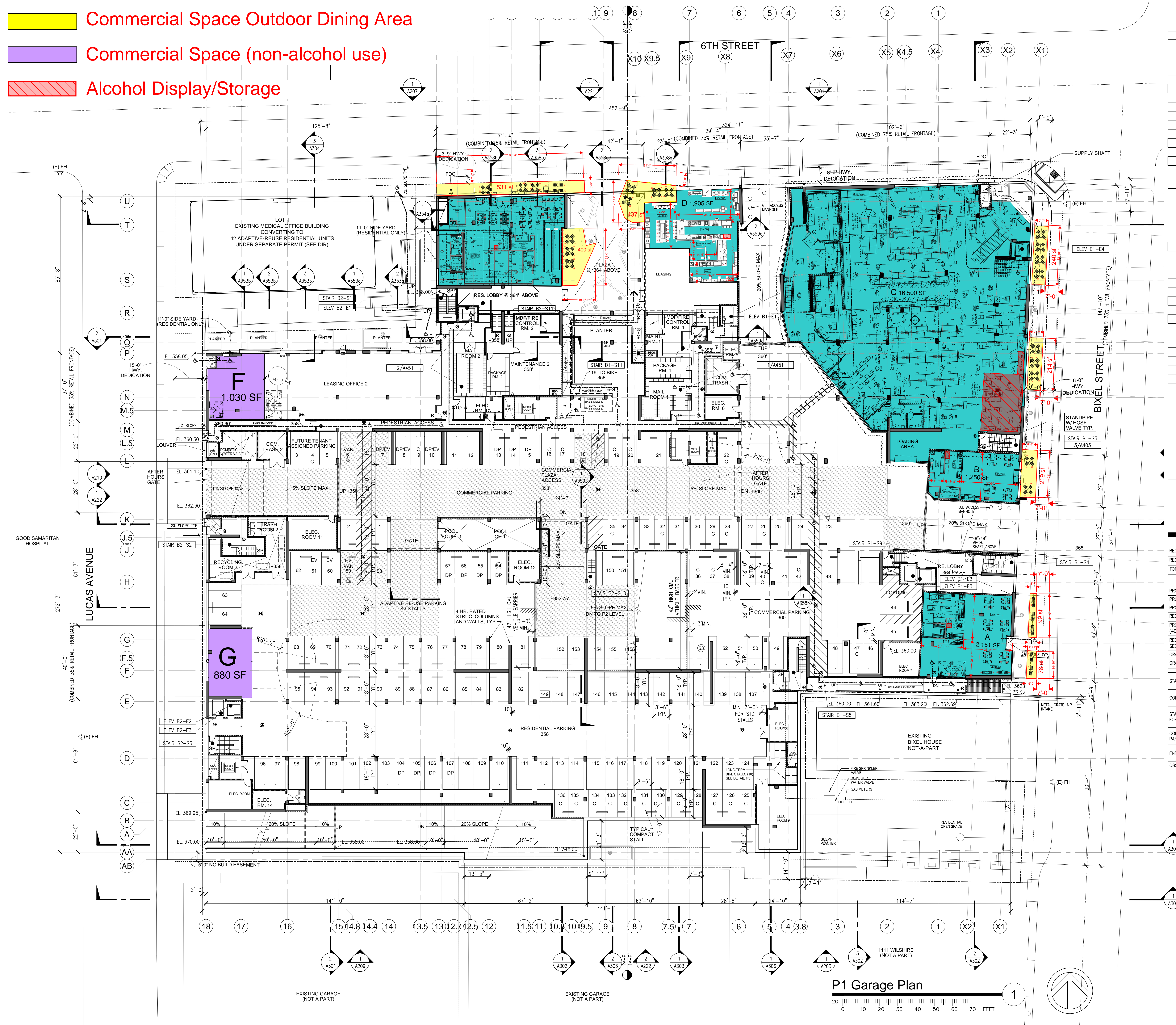
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Job No.: 2012438
 Date: 03/02/2015
 Scale: 1/20"=1'-0"

Sheet No.: **G101**

Phase 1, Permit 3
 Phase 2, Permit 4

- Commercial Space requesting full-line of alcohol permit
- Commercial Space Outdoor Dining Area
- Commercial Space (non-alcohol use)
- Alcohol Display/Storage



PARKING REQUIREMENT ANALYSIS

THIS PROJECT HAS NO GUEST PARKING OR UNASSIGNED RESIDENTIAL PARKING.
PARKING REQUIRED - BUILDING 1

RESIDENTIAL - MARKET RATE UNITS			
UNIT TYPE	PARKING RATIO*	NO. OF UNITS	STALLS REQ'D
(2 HABITABLE ROOMS)	1	74	74
M (3 HABITABLE ROOMS)	1	119	119
1 (>3 HABITABLE ROOMS)	1.25	70	87.5
1 (>3 HABITABLE ROOMS)	1.25	18	22.5
SUB-TOTAL		281	303.5

RESIDENTIAL - VERY LOW INCOME AFFORDABLE UNITS			
UNIT TYPE	PARKING RATIO*	NO. OF UNITS	STALLS REQ'D
STUDIO	1	6	6
1 BEDROOM	1	3	3
2 BEDROOM	1	3	3
3 BEDROOM	1	1	1
SUB-TOTAL		13	13

PARKING REQUIRED - BUILDING 2

RESIDENTIAL - MARKET RATE UNITS			
UNIT TYPE	PARKING RATIO*	NO. OF UNITS	STALLS REQ'D
(2 HABITABLE ROOMS)	1	71	71
M (3 HABITABLE ROOMS)	1	123	123
1 (>3 HABITABLE ROOMS)	1.25	78	97.50
1 (>3 HABITABLE ROOMS)	1.25	26	32.50
LOFT	1	0	0
SUB-TOTAL		298	324

RESIDENTIAL - VERY LOW INCOME AFFORDABLE UNITS			
UNIT TYPE	PARKING RATIO*	NO. OF UNITS	STALLS REQ'D
STUDIO	1	6	6
1 BEDROOM	1	3	3
2 BEDROOM	1	4	4
3 BEDROOM	1	1	1
SUB-TOTAL		14	14

PARKING REQUIRED - COMMERCIAL

USE	PARKING RATIO	AREA (SF)	STALLS REQ'D
MERCIAL - BLDG 1		21,169	
MERCIAL - BLDG 2		5,103	
TOTAL		26,272	** 53

1 BLE RESIDENTIAL STALLS REQUIRED - 2% FOR ASSIGNED PARKING PER 1109A.4
 1.5 X 2% = 3% ACCESSIBLE STALLS REQUIRED
 1.0 X 1.8 RATIO = 2 STALL OUT OF 14 IS REQUIRED TO BE VAN STALL
 30% RESIDENTIAL PARKING IN THIS PROJECT
 53 COMMERCIAL STALLS REQUIRED PER TABLE 11B-6
 3 PROVIDED, 3 ACCESSIBLE STALLS REQUIRED
 1.0 X 1.8 RATIO = 1 STALL OUT OF 3 IS REQUIRED TO BE VAN STALL

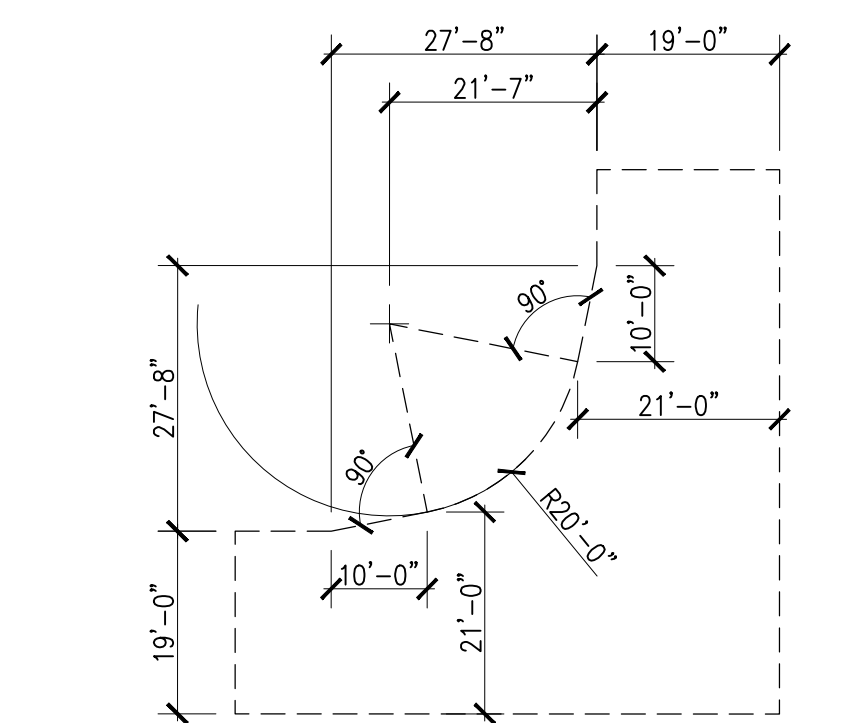
PARKING REQUIRED - ADAPTIVE REUSE
 (13014-10000-05274, 1136 W. 6TH STREET) RESIDENTIAL PARKING

USE	PARKING RATIO	STALLS REQ'D
ADAPTIVE REUSE	42 UNITS X 1.0 SPACE	** 42

PARKING SUMMARY

REQUIREMENT	RESIDENTIAL/COMMERCIAL/ADAPTIVE REUSE				
	RESIDENTIAL	COMMERCIAL	ADAPTIVE REUSE	TOTAL	PROVIDED
ITAL PARKING: BUILDING 1				316	
ITAL PARKING: BUILDING 2				338	
TOTAL				654	
ITAL PARKING	592	14	0	48	654
PARKING	6	0	16	2	24
RESIDENTIAL PARKING	41	1			42
COMMERCIAL PARKING					53
ADAPTIVE REUSE (40% VAN STALLS)					42
TOTAL					749
GRAND TOTAL					773

STANDARD	REQUIRED	PROVIDED	COMMENTS
SIZE	8'-6" X 18'-0"	8'-6" X 18'-0"	
SIZE	8'-6" X 15'-0"	7'-6" X 15'-0"	
SIZE	7'-6" X 15'-0"	7'-6" X 15'-0"	
SIZE	7'-6" X 15'-0"	7'-6" X 15'-0"	
ISLE WIDTH	28'-0" FOR 8'-6" WIDE STALL	28'-0"	
ISLE WIDTH FOR	25'-4" (PARKING STALLS AT 90°)	28'-0"	
ISLE WIDTH FOR	28'-0"	28'-0"	
END STALL CLEARANCE	3'-0"	3'-0"	
OBSTRUCTION CLEARANCE	3'-0" MIN.	3'-0" MIN.	
OBSTRUCTION CLEARANCE	MIN. 10' CLEAR TO OBSTRUCTIONS (EXCLUDING COLUMNS WHEN DRIVE ISLE WIDTH IS 28' OR GREATER)	MIN. 10' CLEAR TO WALL OBSTRUCTION	



P1 Garage Plan



30% Zoning Submittal
 11/20/2013
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 08/29/2013
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 05/19/2014
 Retail Revision Foundation-Plus Permit Set
 11/11/2014
 Foundation-Plus Construction Set
 05/13/2015
 Foundation-Plus Construction Set
 07/20/2015
 Phase 1 (HCO Field Bulletin #10)
 Retail Space Revision Permit Set
 03/07/2016

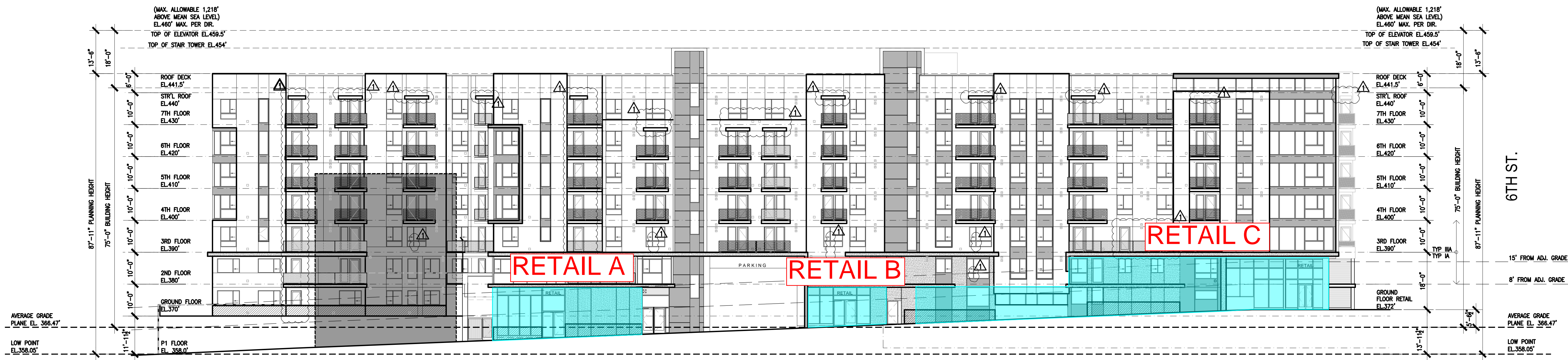
P1 Garage Plan
 1120 W. 6th Street (Building 1)
 1120 W. 6th Street (Building 2)
 1122 W. 6th Street (Building 2)

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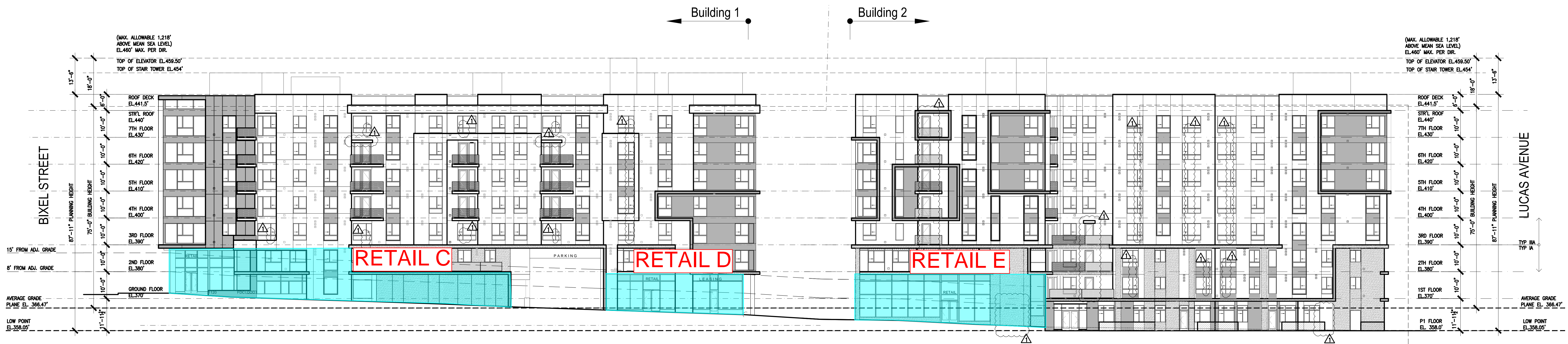
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Commercial Space requesting full-line of alcohol permit



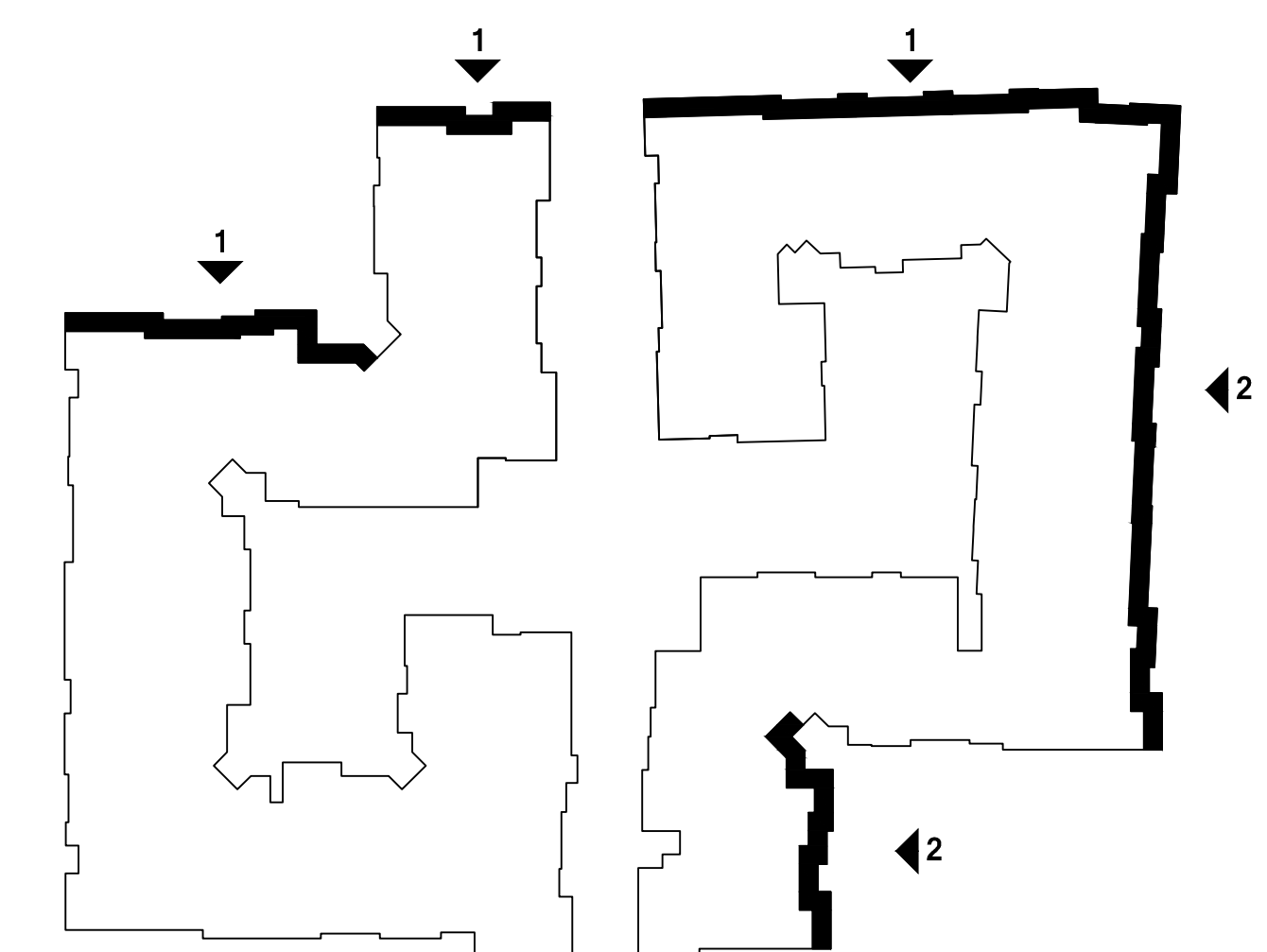
East Elevation - Bixel Street

2



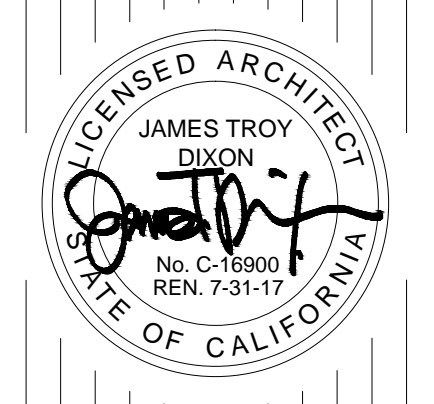
North Elevation - Sixth Street

1



Elevations / Grade Plane Exhibits

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6B Architectural Delta #1 - HCI Field Bulletin #10 7-20-15

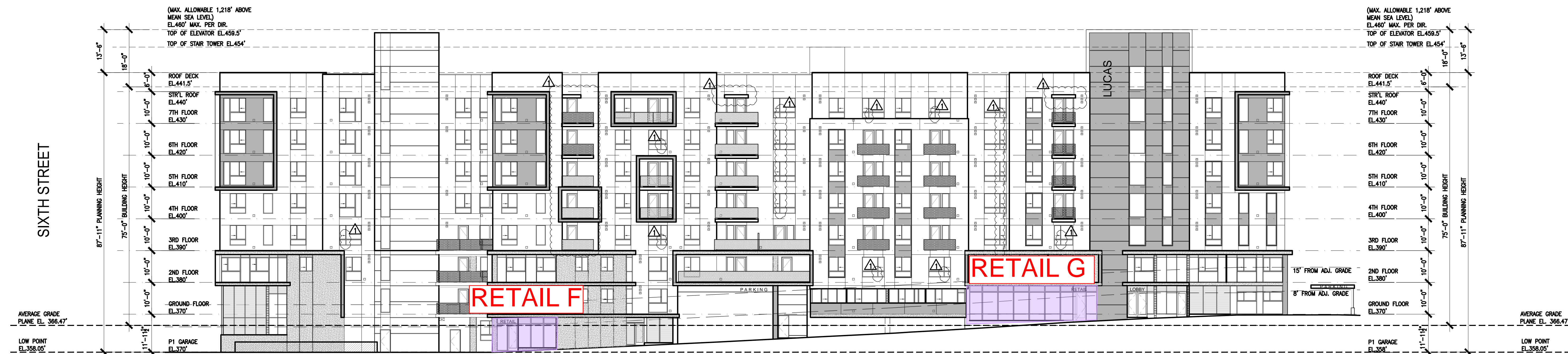
Commercial Space (non-alcohol use)

Building 2 Building 1



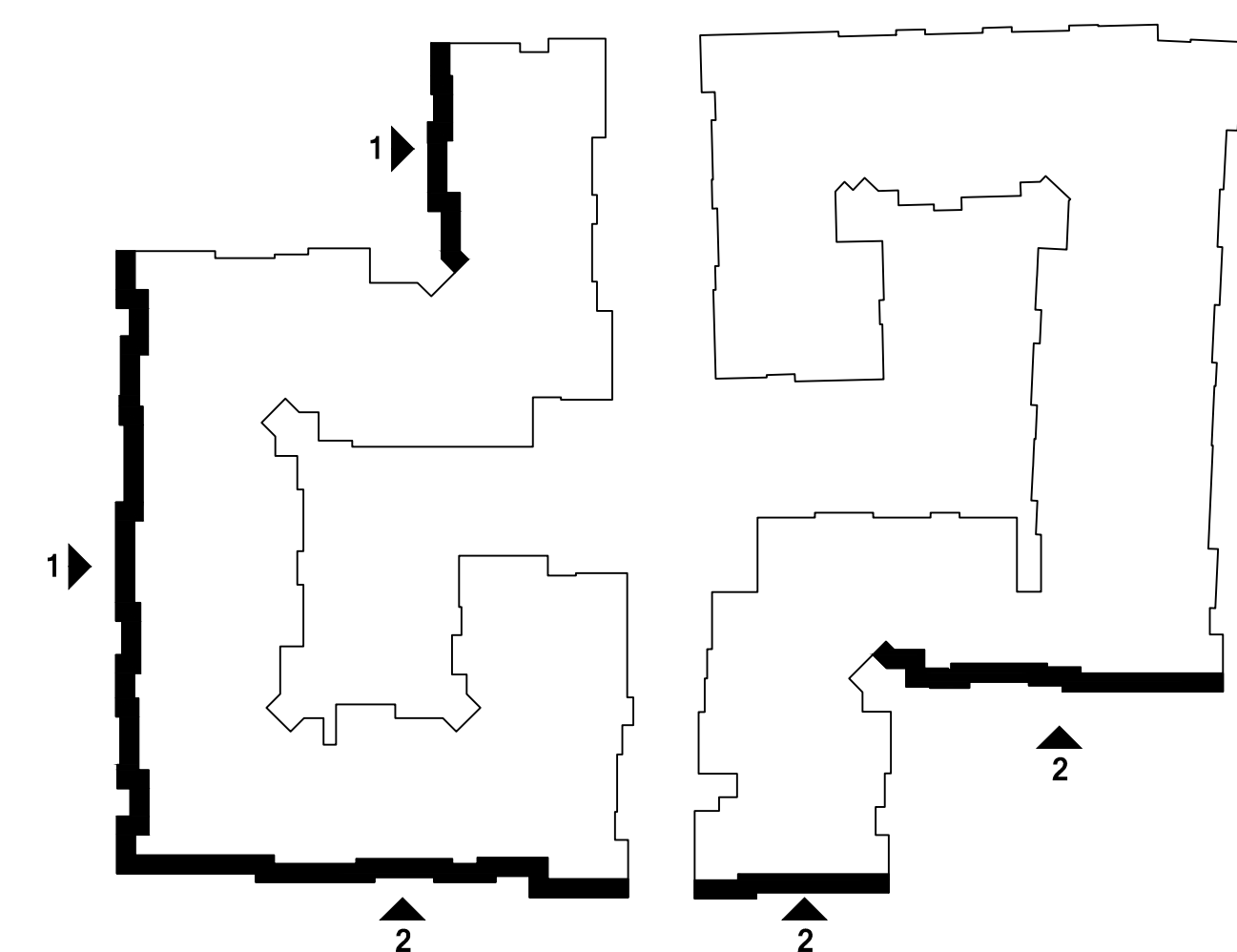
South Elevation

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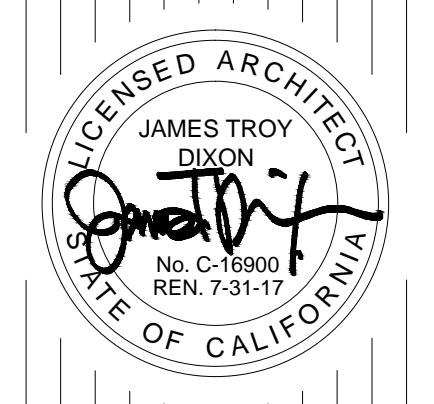
West Elevation - Lucas Street

1



Elevations / Grade Plane Exhibits

Sixth & Bixel



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07.20.2015 Delta 1 (HCI Field Bulletin #10)

6B Architectural Delta #1 - HCI Field Bulletin #10 7-20-15

SITE PHOTO EXHIBIT

Site Address: 1120 W. 6th Street and 1122 W. 6th Street, Los Angeles, CA 90017

Applicant: NASH Holland 6th & Bixel Project LLC



SITE PHOTO EXHIBIT

Site Address: 1120 W. 6th Street and 1122 W. 6th Street, Los Angeles, CA 90017

Applicant: NASH Holland 6th & Bixel Project LLC



1. View of project site, southwesterly facing from the northeastern corner of W. 6th Street and Bixel Street.

SITE PHOTO EXHIBIT

Site Address: 1120 W. 6th Street and 1122 W. 6th Street, Los Angeles, CA 90017

Applicant: NASH Holland 6th & Bixel Project LLC



2. View of project site, southerly facing from intersection of W. 6th Street and Lucas Street.

SITE PHOTO EXHIBIT

Site Address: 1120 W. 6th Street and 1122 W. 6th Street, Los Angeles, CA 90017

Applicant: NASH Holland 6th & Bixel Project LLC



3. View of project site, southeasterly facing from the intersection of W. 6th Street and Lucas Street.

SITE PHOTO EXHIBIT

Site Address: 1120 W. 6th Street and 1122 W. 6th Street, Los Angeles, CA 90017

Applicant: NASH Holland 6th & Bixel Project LLC



4. View of project site facing northeast on Lucas Street.

SITE PHOTO EXHIBIT

Site Address: 1120 W. 6th Street and 1122 W. 6th Street, Los Angeles, CA 90017

Applicant: NASH Holland 6th & Bixel Project LLC



5. View of adjacent properties on W. 6th Street northeasterly facing of the project site at the intersection of W. 6th Street and Lucas Street.

SITE PHOTO EXHIBIT

Site Address: 1120 W. 6th Street and 1122 W. 6th Street, Los Angeles, CA 90017

Applicant: NASH Holland 6th & Bixel Project LLC



6. View of project site facing east on W. 6th Street.

SITE PHOTO EXHIBIT

Site Address: 1120 W. 6th Street and 1122 W. 6th Street, Los Angeles, CA 90017

Applicant: NASH Holland 6th & Bixel Project LLC



7. View of adjacent apartment building, southeasterly facing at the intersection of W. 6th Street and Bixel Street.